



11509 E PALMER DIVIDE
— DOUGLAS COUNTY —



*Image is an artistic rendering of barn

SCAN QR CODE FOR DIGITAL
VERSION OF THIS PACKET

JOAN M. PRATT

MS, CRS, CDPE, CLHMS, CARI

Real Estate Broker

RE/MAX Professionals

VIP@JoanPratt.com | 720-506-3001

www.ElevateyourExpectations.org





11509 E. PALMER DIVIDE AVENUE

— FEATURES —

Glorious Gated Colorado property features an expansive 11000+ sq.ft. home atop a bluff of meadows surrounded by 43 acres of partially forested hillsides with framed views of Pikes Peak.

This unique home was previously used as a conference/meeting/family retreat venue. Existing home features main floor Master Suite; an Entertainers Kitchen with upgraded Stainless Appliances, Granite Counters & more; Commercial Laundry/Mud Room; Spacious Flex Areas perfect for additional living space or to convert into special amenities such as a media room, indoor pool/fitness area, etc.; 2600 sq.ft. finished attached garages, Ample Outdoor Entertaining Space including a Basketball Court & Spectacular Views!

Zoned for Ag - property has a chicken coop, some fenced pasture & NO HOA!

MAIN LEVEL

- 2-Story Foyer
- Main Floor Master Wing - Bedroom, 5pc. En-Suite, Study, Sm. Kitchenette & Private Covered Porch
- Pikes Peak Views From Most of Main Level
- 2 Fireplaces - (1) Wood Burning in Living Room, (1) Gas Insert in Master Suite
- Entertaining Kitchen w/Stainless Appliances, Granite Counters, Double Pantries & Breakfast Nook
- Formal Dining Room
- Playroom or Formal Sitting Room
- Spacious Laundry & Mudroom
- Over-sized 5 Stall Garage



12



12



5+



SCHOOLS
DOUGLAS COUNTY

UPPER LEVEL

- 9 Spacious Bedrooms
- 4 Private En-Suites | 3 Shared Baths
- West Facing Bedrooms All Have Pikes Peak Views
- East Facing Bedrooms Overlook Meadow

BASEMENT

- Multiple Flex Space (Could be converted to Media Room, Fitness Studio & In-door Pool, etc.)
- Full Bathroom
- Unfinished Storage Area
- Walk-Out | Exterior Access

EXTERIOR

- Pikes Peak Views
- Minimal Maintenance - Metal Siding
- Fenced Pasture & Forest Areas
- Chicken Coop
- Low Maintenance Deck & Covered Patio
- Solar Electricity & House Generator
- No Restrictions on Additional Structures



**ZONE FOR HORSES &
AGRICULTURE**



43 ACRES



NO HOA



Address 2222 S Fraser St #1
Aurora, CO 80014

Phone 303-514-5304

Fax 303-750-5559

Email coloradocertifiedroofing2014@gmail.com

Id 138849

Effective Date 10/14/2019

Length 5 years

Expiration Date 10/14/2024

Address **11509 E Palmer Divide Ave, Larkspur, CO 80118**

A qualified Roofer employed by this firm has carefully inspected the dwelling located at the above property address and has made the following determinations:

- 1.) Yes The roof and roof covering is in satisfactory condition with no evidence of leaks.
- 2.) Yes The roof has a minimum service life of 5 years, barring any future damage caused by hail, fire, wind, natural disasters, or other damage aside from normal wear and tear.
- 3.) No The roof required the repairs listed below which have been completed in a professional, workmanlike manner.
- 4.) Yes The dwelling has been re-roofed with the materials listed below.

Description of Work	Quantity
House & Attached Garage	1
Replace RV-53 Turtle Roof Vents (Existing Quantity: 17)	17 EA
Replace Pipe Jacks (Existing Quantity: 14)	14 EA
Install Tamko HERITAGE 30 Architectural shingles, 30 year manufacturer's warranty. Reason: HAIL DAMAGE, SHINGLES: EXCESSIVE LOSS OF GRANULES	8496 SF
Install Painted Metal Drip Edge at the eaves on the structure.	338 LF
Install Painted Metal Drip Edge at the rakes on the structure.	355 LF
Install Rake Bleeder at the Rakes for a straighter edge on the structure.	355 LF
Install Step Flashing at all verticle walls on the structure.	129 LF
Install Underlayment on all roof areas where Ice & Water Shield is not being installed, prior to the roof installation.	8092 SF
Add Painted Slant back Vents for proper ventilation. ***VERY IMPORTANT: If the structure has vaulted ceilings, the customer must notify us prior signing the contract, so that we can rebid with ridge vent, for proper ventilation for vaulted ceilings.	4 EA
Install starter course to meet manufacturer's specs at all eaves prior to the roof installation on the structure.	338 LF
Install valley material to meet manufacturer's specs in the valleys prior to the roof replacement on the structure.	184 LF
Install all new Hip and Ridge shingles to meet manufacturer's specs on the structure with the installation of the new roof.	196 LF
Seal or flash any vents, flues or walls as needed.	
Paint any stacks, pipes and vents close to the color of the new roof on the structure.	
If the house was built prior to 1970, it may have boarded decking instead of plywood. If so customer agrees to pay an additional \$1.40 per square foot to redeck the entire structure over the existing sheathing prior to the roof installation on the structure. Price will be added to the below quoted price.	8092
Tear off the 1st layer of existing composition roofing.	8092 SF
There is no wind damage to this structure's roof.	
Based on Industry Standards, RBI has found MODERATE HAIL DAMAGE to the roof. since many ins. co's have more lenient standards, RBI has prepared repair bids for the hail damage & a whole roof bid in case you file a claim and the insurance company totals the roof.	

House & Attached Garage

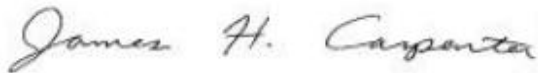
Install Tamko HERITAGE 30 Architectural shingles, 30 year manufacturer's warranty.

8092 SF

Reason: HAIL DAMAGE, SHINGLES: EXCESSIVE LOSS OF GRANULES

This Certification is our professional opinion based on an examination of the visible elements of the general condition of the roof. The above named Contractor (hereinafter, Contractor) will repair subsequent leaks only on all roofs except: tile roofs; flat roofs; and metal roofs. Contractor will not repair interior damage caused by subsequent leaks where roof was not entirely replaced by Contractor. This Certification is not a warranty and will not result in roof replacement. Cosmetic conditions are not a factor when determining whether or not a roof is certifiable. Contractor does not guarantee that the roof will be deemed insurable by an insurance company. Hail is defined as past, present, or future. I have no interest, past or present, in the prospective property, buyer, seller, broker, or other party involved in the transaction.

I certify that I am authorized to sign this Roof Certification and that the signature herein-after made, is duly bound under the terms and conditions of the Certification.

Authorized
Signature

Name James H. Carpenter

Title Owner

WARNING: Section 101 of Title 18, U.S.C., "Federal Housing Administration Transactions", provides, "Whoever, for the purpose of influencing in any way the action of such Administration - makes, passes, utters, or publishes any statement, knowing the same to be false - shall be fined no more than \$5,000 or imprisoned not more than two years, or both". Other federal statutes provide severe penalties for any fraud or intentional misrepresentation made for the purpose of influencing the issuance of any guarantee or insurance, or making of any loan by the Administrator of Veterans Affairs.

SPECIAL WARRANTY DEED

THIS DEED, Made this 17th day of June, 2011 between

Harry W. Schaumburg and Rosemary E. Schaumburg

of the County of Douglas and State of COLORADO, grantor(s), and

Palmer Divide Larkspur LLC, a Colorado limited liability company

whose legal address is 11509 E. Palmer Divide Ave., Larkspur, CO 80118

of the County of Douglas, State of Colorado, grantee(s):

WITNESS, That the grantor(s), for and in consideration of the sum of **Two Million Six Hundred Eleven Thousand Two Hundred Eighty-Five Dollars and NO/100's (\$2,611,285.00)**, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantee(s), his heirs and assigns forever, all the real property together with improvements, if any, situate, lying and being in the City and County of Douglas, State of COLORADO, described as follows:

The Southeast 1/4 of the Southwest 1/4 and the Southwest 1/4 of the Southeast 1/4 of Section 33, Township 10 South, Range 65 West of the 6th P.M., Except that portion thereof lying within Palmer Divide Road, County of Douglas, State of Colorado.

Doc Fee
\$ 261.13

also known by street and number as . 11509 & 11511 E. Palmer Divide Ave. , Larkspur, CO 80118

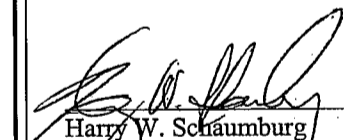
TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

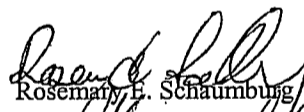
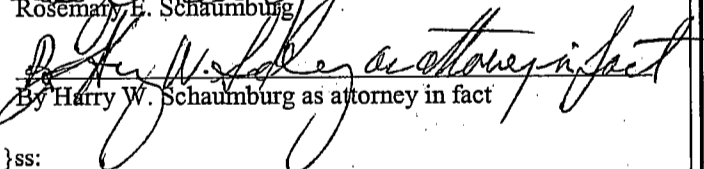
TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), his heirs, and assigns forever. The grantor(s), for himself, his heirs and personal representatives or successors, does covenant and agree that he shall and will **WARRANT AND FOREVER DEFEND** the above-bargained premises in the quiet and peaceable possession of the grantee(s), his heirs and assigns, against all and every person or persons claiming the whole or any part thereof, by, through or under the grantor(s).

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor(s) has executed this deed on the date set forth above.

SELLERS:

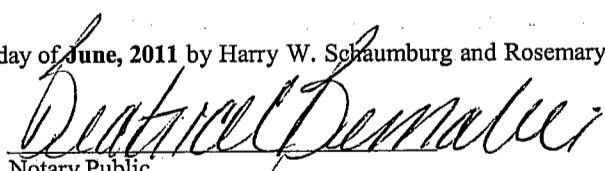

Harry W. Schaumburg


Rosemary E. Schaumburg

By Harry W. Schaumburg as attorney in fact

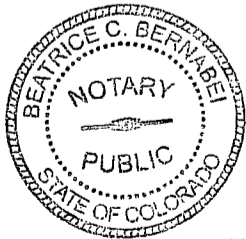
STATE OF COLORADO
COUNTY OF Douglas

}ss:

The foregoing instrument was acknowledged before me this 17th day of June, 2011 by Harry W. Schaumburg and Rosemary E. Schaumburg


Notary Public

Witness my hand and official seal.
My Commission expires:



My Commission Expires 01/14/2009 2013



WATER RIGHTS QUIT-CLAIM DEED

THIS DEED, made this 17th day of June, 2011, between:
Harry W. Schaumburg, whose address is 11509 & 11511 East Palmer Divide Road, Larkspur,
Colorado 80118, hereinafter referred to as "**Grantor**," and Palmer Divide Larkspur, LLC, a
Colorado limited liability company, whose address is 11509 E. Palmer Divide Road,
hereinafter referred to as "**Grantee**"; Larkspur, CO 80118

WITNESSETH that Grantor, for valuable consideration to them in hand paid by Grantee, the receipt and sufficiency whereof are hereby confessed and acknowledged, has granted, bargained, sold, and quit-claimed; and by these presents does grant, bargain, sell, quit-claim, and confirm unto Grantee, its successors and assigns forever, the following specifically described ground water rights:

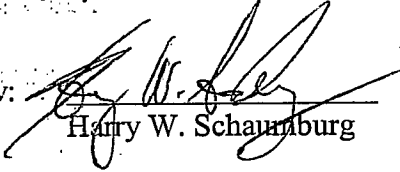
See Exhibit A, attached hereto.

Together with all and singular the hereditaments and appurtenances thereunto specifically appertaining, and all the estate, right, title, interest, claim, and demand whatsoever, of Grantor, either in law or equity, of, in, and to the above bargained ground water rights, TO HAVE AND TO HOLD such water rights above granted, bargained, sold, quit-claimed, conveyed, and confirmed, with the appurtenances, unto Grantee and its successors and assigns forever.

PROVIDED, however, Grantor does not hereby warrant the quantity or quality of water available under or in exercise of the above bargained ground water rights.

IN WITNESS WHEREOF, Grantor has hereunto set his hand and seal the day and year first above written.

GRANTOR:
Harry W. Schaumburg

By: 
Harry W. Schaumburg

FORM NO. GWS-32 11/90

PUMP INSTALLATION AND TEST REPORT
STATE OF COLORADO, OFFICE OF THE STATE ENGINEER

For Office Use only
RECEIVED

1. WELL PERMIT NUMBER 176746

AUG 31 '94

2. OWNER NAME(S) One Van Wingerden
Mailing Address 704 H. Norman Court Lane
City, St. Zip 1229 Lake Pkwy Dr # B. C. Spurge Co 80906
Phone (719) 576-1670

WATER RESOURCES
STATE ENGINEER
COLO.

3. WELL LOCATION AS DRILLED: SE 1/4 SW 1/4, Sec. 33 Twp. 10 S, Range 65 W
DISTANCES FROM SEC. LINES:
535 ft. from South (north or south) Sec. line. and 2191 ft. from West (east or west) Sec. line.
SUBDIVISION: LOT _____ BLOCK _____ FILING(UNIT) _____
STREET ADDRESS AT WELL LOCATION: _____

4. PUMP DATA: Type Sub Installation Completed 8/25/94
Pump Manufacturer Red Jacket Pump Model No. 1123 BC 200
Design GPM 10 at RPM 3450, HP 2, Volts 230, Full Load Amps 16
Pump Intake Depth 447 Feet, Drop/Column Pipe Size 1" Inches, Kind RUC
ADDITIONAL INFORMATION FOR PUMPS GREATER THAT 50 GPM:
TURBINE DRIVER TYPE: Electric Engine Other _____
Design Head _____ feet, Number of Stages _____, Shaft size _____ inches.

5. OTHER EQUIPMENT:
Airline Installed Yes No, Orifice Depth ft. _____, Monitor Tube Installed Yes No, Depth ft. _____
Flow Meter Mfg. _____ Meter Serial No. _____
Meter Readout Gallons, Thousand Gallons, Acre feet, Beginning Reading _____

6. TEST DATA: Check box if Test data is submitted on Supplemental Form.
Total Well Depth 545 Date 8/25/94
Static Level 330 Time _____
Date Measured June 15-94 Rate (GPM) 10
Pumping Lvl. 400

7. DISINFECTION: Type HTH Amt. Used 1/4 Cup

8. Water Quality analysis available. Yes No

9. Remarks _____

10. I have read the statements made herein and know the contents thereof, and that they are true to my knowledge.
[Pursuant to Section 24-4-104 (13)(a) C.R.S., the making of false statements herein constitutes perjury in the second degree and is punishable as a class 1 misdemeanor.]

CONTRACTOR Hamacher Well Works Inc Phone (719) 541-2460 Lic. No. 71
Mailing Address Box 86 Siltco Co 80835

Name/Title (Please type or print) T.R. Hamacher Signature J. R. Hamacher Date Aug 94

INSTRUCTIONS FOR PUMP INSTALLATION REPORT

The report must be typed or printed in **BLACK INK**. All changes on the form must be initialed and dated. Attach additional sheets if more space is required. Each additional sheet must be identified at the top by the well owner's name, the permit number, form name/number and a sequential page number. Report depths in feet below ground surface.

This form may be reproduced by photocopy methods, or by computer generation with prior approval by the State Engineer.

The original and one copy of this form must be submitted to the State Engineer's Office within 60 days after completing the well or 7 days after the permit expiration date, whichever is earlier. Another copy of the form must be provided to the well owner.

If this form is submitted in conjunction with the Well Completion and Test Report, form number GWS-31, ONLY THE PERMIT NUMBER AND OWNER NAME NEED TO BE COMPLETED in items 1 and 2.

1. Complete the **Permit Number** in full.
2. Fill in **Name and Mailing Address of Well Owner** where correspondence should be sent.
3. Complete the blocks for the **actual** location of the well. For wells located in subdivisions the lot, block and subdivision information must also be provided.
4. Indicate the type of pump installed and complete the requested information. When installing pumps greater than 50 gpm, complete the additional information in this area.
5. Provide the information on other equipment which may be installed in the well.
6. Report test data as required by Rule 13.9. Spaces are provided to report all measurements made during the test. The report should show that the test complied with the provisions of the rules. If a test was not performed explain when it will be done. If available, report clock time when measurements were taken.
7. Record the type and the amount of disinfection used, how placed and the length of time left in the hole.
8. Indicate if a water quality analysis was performed and submit a copy of the report if available.
9. Use the remarks area to note any additional information including additional equipment installed, water supply construction problems.
10. Fill in **Company Name and Address of Contractor** who constructed the well. The report must be signed by the licensed contractor responsible for the installation of pumping equipment.

WELL CONSTRUCTION AND TEST REPORT STATE OF COLORADO, OFFICE OF THE STATE ENGINEER

For Office Use only

RECEIVED

AUG 31 '94

WATER RESOURCES STATE ENGINEER COLO.

1. WELL PERMIT NUMBER 176746

2. OWNER NAME(S) Arne VanWingerden Mailing Address 204 H. Wagon Court Inver City, St. Zip 1229 Lake Plaza Dr # B CS Co 80906 Phone (719) 376-1670

3. WELL LOCATION AS DRILLED: SE 1/4 SW 1/4, Sec. 33 Twp. 10 S, Range 65 W DISTANCES FROM SEC. LINES: 335 ft. from South Sec. line. and 2191 ft. from West Sec. line. OR SUBDIVISION: LOT BLOCK FILING(UNIT) STREET ADDRESS AT WELL LOCATION:

4. GROUND SURFACE ELEVATION ft. DRILLING METHOD Rotary DATE COMPLETED June 15-94 TOTAL DEPTH 545 ft. DEPTH COMPLETED 545 ft.

5. GEOLOGIC LOG: Depth Description of Material (Type, Size, Color, Water Location)

0-3 Top Soil
3-19 Rock
19-27 Clay
27-360 Sand + Gravel
360-400 Gray clay + Sand
400-545 Sand + Gravel

Table with 3 columns: Hole Diam. (in.), From (ft), To (ft). Values: 8 1/2, 0, 21; 6 1/2, 21, 545

Table with 5 columns: Plain Casing OD (in), Kind, Wall Size, From (ft), To (ft). Values include 6 1/2, Steel, 1 3/8, 0, 21; 4", PVC, 1/4, 0-405, 425-445

8. FILTER PACK: Material Silica Sand Size 8-12 Interval 20-545

9. PACKER PLACEMENT: Type Depth

REMARKS:

Table with 5 columns: Grouting Record Material, Amount, Density, Interval, Placement. Values: Cemented, 20 gal, 0-20, Sand

11. DISINFECTION: Type HTH Amt. Used 1/4 cup

12. WELL TEST DATA: TESTING METHOD Over & Bored Static Level 330 ft. Date/Time measured June 15-94 Production Rate 12 gpm. Pumping level 430 ft. Date/Time measured June 15-94 Test length (hrs.) 4

13. I have read the statements made herein and know the contents thereof, and that they are true to my knowledge. [Pursuant to Section 24-4-104 (13)(a) C.R.S., the making of false statements herein constitutes perjury in the second degree and is punishable as a class 1 misdemeanor.]

CONTRACTOR Hamacher Well Works Inc Phone (719) 541-2460 Lic. No. 71 Mailing Address Box 86 Simla Co 80835

Name/Title (Please type or print) T.R. Hamacher Signature T.R. Hamacher Date June 94

INSTRUCTIONS FOR WELL CONSTRUCTION AND TEST REPORT

The report must be typed or printed in **BLACK INK**. All changes on the form must be initialed and dated. Attach additional sheets if more space is required. Each additional sheet must be identified at the top by the well owner's name, the permit number, form name/number and a sequential page number. Report depths in feet below ground surface.


This form may be reproduced by photocopy methods, or by computer generation with prior approval by the State Engineer.

The original and one copy of this form must be submitted to the State Engineer's Office within 60 days after completing the well or 7 days after the permit expiration date, whichever is earlier. Another copy of the form must be provided to the well owner.

1. Complete the Well Permit Number in full.
2. Fill in Name and Mailing Address of Well Owner where correspondence should be sent.
3. Complete the blocks for the actual location of the well where drilled. If the owner has more than one well serving this property, provide the identification (Owner's Designation) for this well. **DO NOT USE THE OWNER SUPPLIED LOCATION** unless a survey has been provided. For wells located in subdivisions the lot, block and subdivision information must also be provided.
4. Report the ground surface elevation in feet above sea level if available. This value may be obtained from a topographic map. Describe the drilling method used to construct the well and the date completed. Indicate the total depth drilled and the actual completed depth of the well.
5. Fully describe the materials encountered in drilling. Do not use formation names unless they are in conjunction with a description of materials.
Examples of descriptive terms include:
 - Grain size--Boulders, gravel, sand, silt, clay.
 - Hardness--Loose, soft, tight, hard, very hard.
 - Color--All materials. Most critical in sedimentary rock.
 - Depth when water is encountered (if it can be determined).
6. Provide the diameters of the drilled bore hole.
7. The outside diameter, kind, wall thickness and interval of casing lengths must be indicated.
8. Indicate the type and size of filter (gravel) pack and the interval where placed.
9. Indicate the type and setting depth for any packers installed.
10. The density of the grout slurry must be reported and may be indicated as pounds per gallon, gallons of water per sack, total gallons of water and number of sacks used, etc. Specify the grout placement method, i.e. tremie pipe or positive displacement. The percentage of additives mixed with the grout should be reported under remarks.
11. Record the type and the amount of disinfection used, how placed and the length of time left in the hole.
12. Report well test data as required by Rule 10.7. Spaces are provided to report all measurements made during the test. The report should show that the test complied with the provisions of the rules. If a test was not performed explain when it will be done. If available, report clock time when measurements were taken.
13. Fill in Company Name and Address of Contractor who constructed the well. The report must be signed by the licensed contractor responsible for the construction of the well.

OFFICE OF THE STATE ENGINEER
COLORADO DIVISION OF WATER RESOURCES

818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203
(303) 866-3581

WELL PERMIT NUMBER 							
DIV. 1	CNTY.	18	WD	8	DES. BASIN	MD	

APPLICANT

ARIE VANWINGERDEN
% H H NORMAN CONST INC
1229 LAKE PLAZA DR #B
CO SPGS CO 80906

(719)576-1670

PERMIT TO CONSTRUCT A WELL

APPROVED WELL LOCATION
DOUGLAS COUNTY

SE 1/4 SW 1/4 Section 33
Twp 10 S RANGE 65 W 6th P.M.

DISTANCES FROM SECTION LINES

535 Ft. from South Section Line
2191 Ft. from West Section Line

ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT
CONDITIONS OF APPROVAL

- 1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of the permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
- 2) The construction of this well shall be in compliance with the Water Well Construction and Pump Installation Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 17.
- 3) Approved pursuant to CRS 37-92-602(3)(b)(II)(A) as the only well on a tract of land of 40 acres described as the SE 1/4 of the SW 1/4 of Sec. 33, Twp. 10S, Rng. 65W, 6th P.M., Douglas County.
- 4) The use of ground water from this well is limited to ordinary household purposes inside not more than three single family dwellings, fire protection, the watering of poultry, domestic animals, and livestock on farms and ranches, and the irrigation of not over one (1) acre of home gardens and lawns.
- 5) The total depth of the well shall not exceed 1,100 feet, which corresponds to the base of the Dawson aquifer.
- 6) The maximum pumping rate shall not exceed 15 GPM.
- 7) The return flow from the use of the well must be through an individual waste water disposal system of the non-evaporative type where the water is returned to the same stream system in which the well is located.
- 8) This well shall be constructed not more than 200 feet from the location specified on this permit.

Note: To insure a maximum productive life of this well, perforated casing should be set through the entire producing interval of the approved zone or aquifer indicated above.

JWB 3/10/94

APPROVED
JWB

Hal D. Simpson
State Engineer

By *John Billings*
EXPIRATION DATE MAR 11 1996

Receipt No. 0364915

DATE ISSUED MAR 11 1994

11
COLORADO DIVISION OF WATER RESOURCES
818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203

1994
JAN 28 94

51
X
115

PERMIT APPLICATION FORM

Application must be complete where applicable. Type or print in **BLACK INK**. No overstrikes or erasures unless initialed.

- A PERMIT TO USE GROUND WATER
- A PERMIT TO CONSTRUCT A WELL
- FOR: A PERMIT TO INSTALL A PUMP

WATER RIGHTS
STATE ENGINEER
COLO.

() REPLACEMENT FOR NO. 176746

() OTHER _____

WATER COURT CASE NO. _____

7400'

(1) APPLICANT - mailing address

NAME Arnie Van Wingerden
 STREET c/o H. H. NORMAN CONSTRUCTION, Inc
1229 LAKE PARK DR, SUITE B
 CITY CO SPRING CO 80906
(State) (Zip)
 TELEPHONE NO. (719) 576-1670

FOR OFFICE USE ONLY: DO NOT WRITE IN THIS COLUMN

Receipt No. 364915 / _____

Basin _____ Dist. _____

CONDITIONS OF APPROVAL

This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of the permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.

(2) LOCATION OF PROPOSED WELL

County DOUGLAS

SE 1/4 of the SW 1/4, Section 33

Twp. 10 S, Rng. 65 W, 6th P.M.
(N.S) (E.W)

(3) WATER USE AND WELL DATA

Proposed maximum pumping rate (gpm) 15

Average annual amount of ground water to be appropriated (acre-feet): 3

Number of acres to be irrigated: 1

Proposed total depth (feet): 350

Aquifer ground water is to be obtained from:
DANSON

Owner's well designation _____

45 ✓
 40 ✓
 30 ✓
 20 ✓

GROUND WATER TO BE USED FOR:

- () HOUSEHOLD USE ONLY - no irrigation (0)
- DOMESTIC (1)
- () LIVESTOCK (2)
- () COMMERCIAL (4)
- () OTHER (9) _____
- () INDUSTRIAL (5)
- () IRRIGATION (6)
- () MUNICIPAL (8)

DETAIL THE USE ON BACK IN (11)

APPLICATION APPROVED

(4) DRILLER

Name KUNAU DRILLING + EXC

Street 23945 LOCKY LN

City CALHAN CO 80906
(State) (Zip)

Telephone No. 719-683-3720 Lic. No. 1144

PERMIT NUMBER _____

DATE ISSUED _____

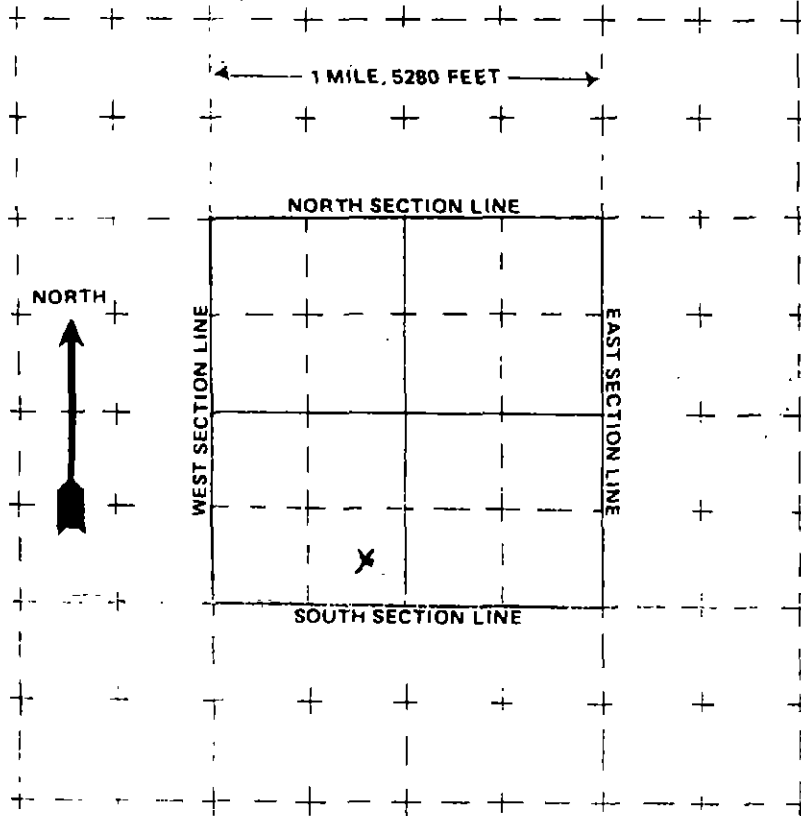
EXPIRATION DATE _____

 (STATE ENGINEER)

BY _____

I.D. 1 COUNTY 18 08

(5) THE LOCATION OF THE PROPOSED WELL and the area on which the water will be used must be indicated on the diagram below. Use the CENTER SECTION (1 section, 640 acres) for the well location.



The scale of the diagram is 2 inches = 1 mile
Each small square represents 40 acres.

WATER EQUIVALENTS TABLE (Rounded Figures)

An acre-foot covers 1 acre of land 1 foot deep
1 cubic foot per second (cfs) . . . 449 gallons per minute (gpm)
A family of 5 will require approximately 1 acre-foot of water per year.
1 acre-foot . . . 43,560 cubic feet . . . 325,900 gallons.
1,000 gpm pumped continuously for one day produces 4.42 acre-feet

(6) THE WELL MUST BE LOCATED BELOW by distances from section lines.

535 ft. from South (north or south) sec. line
2191 ft. from west (east or west) sec. line

LOT _____ BLOCK _____ FILING # _____
SUBDIVISION _____

(7) TRACT ON WHICH WELL WILL BE LOCATED Owner Anie VAN Wingerden

No. of acres 720 Will this be the only well on this tract? yes

(8) PROPOSED CASING PROGRAM

Plain Casing
6 in. from +1 ft. to 20 ft.
4 in. from 15 ft. to 100 ft.
Perforated casing
4 in. from 100 ft. to 350 ft.
_____ in. from _____ ft. to _____ ft.

(9) FOR REPLACEMENT WELLS give distance and direction from old well and plans for plugging it:

(10) LAND ON WHICH GROUND WATER WILL BE USED:

Owner(s): Anie VAN Wingerden No. of acres: 720

Legal description: SE 1/4 SW 1/4 S 33 T 10 S R 65 W, 6 m pm

(11) DETAILED DESCRIPTION of the use of ground water: Household use and domestic wells must indicate type of disposal system to be used.

Domestic
Douglas County Approved Septic System

(12) OTHER WATER RIGHTS used on this land, including wells. Give Registration and Water Court Case Numbers.

Type or right	Used for (purpose)	Description of land on which used

(13) THE APPLICANT(S) STATE(S) THAT THE INFORMATION SET FORTH HEREON IS TRUE TO THE BEST OF HIS KNOWLEDGE.

X
SIGNATURE OF APPLICANT(S)

EXEMPT WELL DATA SHEET - DENVER BASIN, COLORADO

APPLICANT: WINGERDEN RECEIPT NO. 364915
 LOCATION: SE1/4 OF SW1/4 OF SEC. 33, T.10S., R.65W. (535 SSL, 2191 WSL)

PROPOSED AQUIFER:
 SURFACE ELEVATION: 7400 NUMBER OF ACRES IN TRACT: 720

IS PROPERTY WITHIN SERVICE BOUNDARIES OF MUNICIPALITY S.B.5 CONSENT MAPS? NO ___ YES ___
 IF SUBDIVISION IS UNDER AUGMENTATION PLAN, CASE NO. IS _____, DIV. _____
 IF SUBDIVISION WAS RECOMMENDED FOR APPROVAL BY THE WATER MANAGEMENT BRANCH, DATE OF LETTER IS _____
 INFORMATION ON SUBDIVISION OR TRACT OF LAND/SPECIAL RESTRICTIONS:

evaluated by JWB on FEBRUARY 16, 1994

AQUIFER	ELEVATION		NET SAND	DEPTH TO		ANNUAL APPROP A-F	STATUS
	BOT.	TOP		BOT.	TOP		
UPPER DAWSON	6299	7208	454	1101	192	653.760	NNT
LOWER DAWSON	---	---	---	---	---	---	---
DENVER	5410	6245	357	1990	1155	435.744	NT
UPPER ARAPAHOE	4831	5350	283	2569	2050	345.168	NT
LOWER ARAPAHOE	---	---	---	---	---	---	---
LARAMIE-FOX HILLS	4176	4428	194	3224	2972	208.440	NT

note: E indicates location is at aquifer boundary and values may be more approximate.
 * indicates the proposed aquifer.

All values are interpolated from the S.B.5 data base assembled in November of 1986.

RECEIVED

JAN 28 '94

WATER RESOURCES
STATE ENGINEER
COLORADO

H. H. NORMAN CONSTRUCTION, INC.

January 27, 1994

Colorado Division of Water Resources
818 Centennial Building
1313 Sherman Street
Denver, CO 80203

Dear Sir or Madam:

Enclosed is a permit application form and check for \$60.00 for a well to be drilled in Douglas County. This application was originally mailed to you along with a check for \$65.00 (Exhibit A) on December 22, 1993, by Mr. John Nix, a Realtor representing Arie Van Wingerden, the owner of the property. The application and check were returned to Mr. Nix by your office with no letter of explanation on January 5, 1994 in the enclosed envelope (Exhibit B). Unfortunately, the Realtor failed to notify Mr. Van Wingerden of the return.

I discovered yesterday that the permit had been returned without action and contacted your office by phone this morning. The gentleman I spoke to told me that if there were no purple numbers on the application (there are not), that it had not been logged in and that we must begin the permit process anew. His guess as to why the application was returned was because the check (Exhibit A) was for too much money. He further stated that it would take "four weeks or so" to process the application once resubmitted.

We are now in a position of having the start of the home postponed until mid-March or later if we must wait four weeks for approval of the well permit, as I cannot submit the building plans to Douglas County until I have the well permit.

I have contracted with Mr. Van Wingerden to build his home for occupancy August 1, 1994, under the belief that the approval of the

RECEIVED

JAN 28 '94

WATER RESOURCES
STATE ENGINEER
COLO

application for permit could be expected by the end of this month. Mr. Van Wingerden is planning to move his family and relocate his manufacturing business to Douglas County this summer. With the now-imminent delay of four to six weeks, the Van Wingerden family faces a significant hardship.

While I cannot excuse the Realtor's lack of action after the permit was returned, he claims he did not know what to do because there was no letter of explanation from your office. As the check was for too much rather than too little, it is unfortunate that the application was not processed and a \$5.00 refund made. At this point, I would ask your assistance in expediting this application so we might minimize the time lost and the inconvenience caused the Van Wingerden's

Respectfully,



Henry H. Norman, President

Encl.

Best Copy Available

EXHIBIT B

RECEIVED
JAN 28 1994
WATER RESOURCES
STATE ENGINEER
CDD

EXHIBIT A

340500000
STATE OF COLORADO
DIVISION OF WATER RESOURCES
1313 SHERMAN STREET - ROOM 818
DENVER, COLORADO 80203
WS-Mail Code
M 340500007

23177

ARIE OR LYNN VANWINGERDEN
8071 DURHAM ROAD
PIPERVILLE, PA. 18947

12-22-93

60-781
318

PAY TO THE ORDER OF Colorado Div of Water Res \$ 65.00 DOLLARS

Sixty Five

Bucks County Bank
PERKASIE, PA 18944

MEMO Will permit

1185

1103190781315090114419 R# 2317

State of Colorado
Official Mail
Penalty for
Private Use

PRESORTED
FIRST CLASS
DENVER
JAN-5'94
CO
U.S. POSTAGE
0.24
6131404

John Nix
Edwardell Barber Walden
1561 Briargate Blvd.
Or Dept, CO
80920

H. H. NORMAN CONSTRUCTION, INC.

FAX SENT TO: JOHN BILSON

FAX NUMBER: 303-866-3589

FROM: Hank Norman, FAX (719) 576-1671

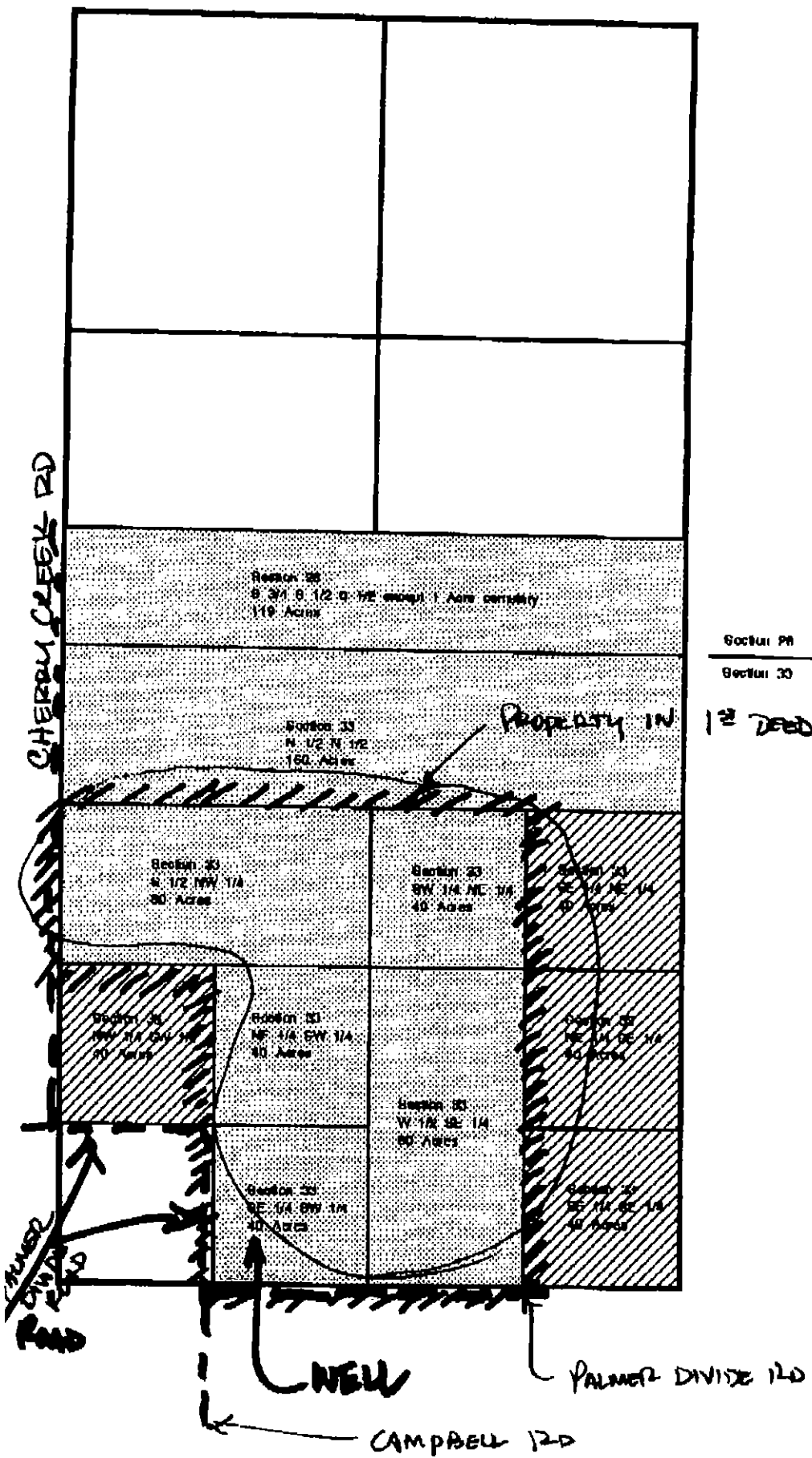
NUMBER OF PAGES BEING SENT (incl. cover sheet): _____

COMMENTS: John - The tract of land including
the house and lot is 280 ACRES. THE
ENTIRE PURCHASE, ENTAILING 3 DEEDS, IS
720 ACRES. Hope this helps.

Hank Norman

Please call (719) 576-1670 if you do not receive all pages transmitted.

Best Copy Available



SPECIAL WARRANTY DEED

GEORGE L. BEARDSLEY, GEORGE B. BEARDSLEY and KIRK B. BEARDSLEY (collectively "Grantor"), whose address is c/o George B. Beardsley, 2 Inverness Drive East, Suite 200, City of Englewood, County of Arapahoe, State of Colorado 80112, for good and valuable consideration, in hand paid, hereby sell and convey to NICK VAN WINGERDEN ("Grantee"), whose address is Rural Route 1, Route 89, Town of Granville, County of Putnam, State of Illinois 61326, the following real property in the County of Douglas, State of Colorado, to wit:

The real property (the "Property") legally described as follows:

West 1/2 Southeast 1/4, Southwest 1/4 Northeast 1/4, South 1/2 Northwest 1/4, Northeast 1/4 Southwest 1/4, Southeast 1/4 Southwest 1/4 of Section 33, Township 10 South, Range 65 West of the Sixth Principal Meridian, Douglas County, Colorado

TOGETHER with all improvements thereon and appurtenances thereto, and warrants title to the same against all persons claiming by, through or under Grantor, subject to the matters set forth on Exhibit A attached hereto and by this reference made a part hereof.

TOGETHER with Grantor's interest in all water and ditch rights appurtenant to the Property, including without limitation, Beardsley East Cherry Creek Diversions, #1 and #2 Conditional, 1.5 cfs each (June 10, 1971 appropriations), provided all such water and ditch rights are transferred by quitclaim without warranty.

SIGNED this 17 day of January, 1994.



GEORGE L. BEARDSLEY



GEORGE B. BEARDSLEY



KIRK B. BEARDSLEY

Shared Driveway Maintenance Agreement

This Shared Driveway Maintenance Agreement is made September 17, 2020, between Palmer Divide Larkspur LLC (“Party A”), and TBD (“Party B”), for the purpose of governing the maintenance, improvement, and repair of the driveway and mechanical gate shared by their 2 adjoining parcels. This driveway is intended for use by those living in and enjoying the benefits of the two residential properties.

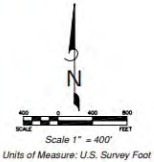
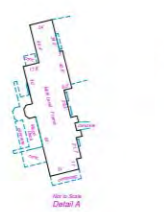
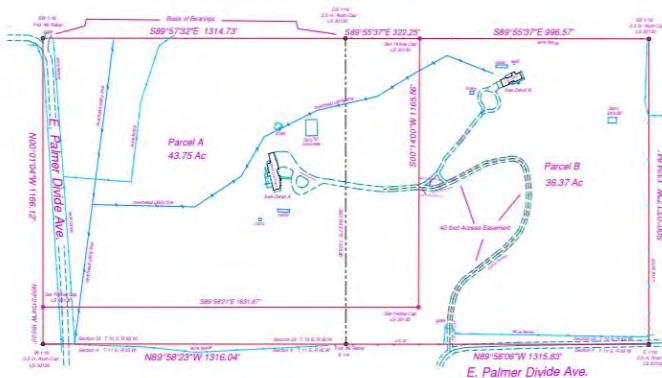
1. Party A is the owner of Parcel A, 11509 E Palmer Divide, see Attachment A - Land Survey Plat dated Sept 7, 2020, and Party B is the owner of Parcel B, 11511 E Palmer Divide, See: Attachment A - Land Survey Plat dated Sept 7, 2020.
2. Parcel A and Parcel B share a driveway and a mechanical access gate controlled by keypad and/or remote; the shared driveway is described in Attachment A – 40 feet Access Easement.
3. Parties agree to share the costs for maintenance, improvement, and repair of the gate and the shared portion of the road and also the removal of snow and ice. These costs will be split 50/50.
4. Both parties agree to keep the driveway clear from storage and obstructions caused by other than natural causes such as parking or storage of vehicles and personal property. They further agree to limit the construction of walls, barriers or improvements that may restrict passage. Any such wall or barrier shall be mutually agreed upon between Party A and Party B.
5. Each party will be solely responsible for the cost of repairs caused by negligence or misuse or damaged caused specifically by that party. Examples being: Damage caused by heavy equipment, tractor/dozer misuse. Further, Party A and Party B agree to an annual preventative maintenance of crack sealing to prevent further deterioration and every three years they will have it micro-sealed or top-coated as suggested by one of two reputable contractors selected to bid that work.
6. Party A and Party B intend for this agreement to bind and benefit the owners and occupiers of both parcels and their transferees, successors, and assigns.
7. Venue – This agreement is governed by the laws of Douglas Co. Colorado and any controversy or claim arising out of or relating to this contract, or the breach thereof, shall be settled by arbitration. Judgment on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

Notarized signatures from Seller and Buyers

=====

Land Survey Plat

The Southeast Quarter of the Southwest Quarter, and the Southwest Quarter of the Southeast Quarter of Section 33, Township 10 South, Range 65 West in the Sixth Principal Meridian, County of Douglas, State of Colorado.



Legend

- Boundary Line
- Surveyed Area
- Unsurveyed Area
- Right-of-Way
- Water
- Other

Notes:

1. This plat is a true and correct copy of the original field notes and computations of the survey.
2. The survey was conducted in accordance with the laws and regulations of the State of Colorado.
3. The survey was conducted in accordance with the standards of the National Society of Professional Surveyors.
4. The survey was conducted in accordance with the standards of the International Association of Professional Surveyors.
5. The survey was conducted in accordance with the standards of the American Society of Professional Surveyors.
6. The survey was conducted in accordance with the standards of the International Federation of Surveyors.
7. The survey was conducted in accordance with the standards of the International Union of Pure and Applied Chemistry.
8. The survey was conducted in accordance with the standards of the International Union of Pure and Applied Mathematics.
9. The survey was conducted in accordance with the standards of the International Union of Pure and Applied Physics.
10. The survey was conducted in accordance with the standards of the International Union of Pure and Applied Biology.

Legal Description:

The Southeast Quarter of the Southwest Quarter, and the Southwest Quarter of the Southeast Quarter of Section 33, Township 10 South, Range 65 West in the Sixth Principal Meridian, County of Douglas, State of Colorado.

Parcel A
 Parcel A is a portion of the Southeast Quarter of the Southwest Quarter of Section 33, Township 10 South, Range 65 West in the Sixth Principal Meridian, County of Douglas, State of Colorado, containing 43.75 acres, more or less, as shown on the attached plat.

Parcel B
 Parcel B is a portion of the Southwest Quarter of the Southeast Quarter of Section 33, Township 10 South, Range 65 West in the Sixth Principal Meridian, County of Douglas, State of Colorado, containing 36.37 acres, more or less, as shown on the attached plat.

All Best Access Easements: Access shall be provided to the parcels shown on this plat through the easements shown thereon.

Notice: This plat is a true and correct copy of the original field notes and computations of the survey.

Certification: I, the undersigned, being a duly licensed and qualified surveyor in the State of Colorado, do hereby certify that this plat is a true and correct copy of the original field notes and computations of the survey.

Surveyor's Statement: I, the undersigned, being a duly licensed and qualified surveyor in the State of Colorado, do hereby certify that this plat is a true and correct copy of the original field notes and computations of the survey.



Indexing Statement: This plat is indexed in the County Clerk's Office of Douglas County, Colorado, under the name of the survey.

ALESSI and ASSOCIATES, Inc.
 1700 West 10th Avenue, Suite 100, Denver, CO 80202
 Phone: (303) 733-1111
 Fax: (303) 733-1112
 Website: www.alessisurvey.com



DOUGLAS COUNTY

Planning and Community Development Department
 Building Division • (303) 680-7497
 416 Jerry Street, Castle Rock, Colorado 80104

Building Permit

File Number

94-0896

Project Address 11509 PALMER DIVIDE RD				City COLO SPRINGS		Zip Code 80906	
Lot	Block	Subdivision Name Metes and Bounds		Section SEC	Township 33	Range T10	
Owner's Name & Address VAN WINGERDEN NICK ROUTE 89 RR 1				Contractor's Name & Address NORMAN CONST 1229 LAKE PLAZA DR			
City GRANVILLE		State IL		Zip Code 61326		City COLO SPRINGS	
Day Phone (215) 965-1127		Night Phone (215) 766-0322		Day Phone (719) 576-1670		Night Phone () - NA	
Occupancy Group R3/M1	Type of Const. VN	Stories 2	Height FL	Description RES			
# New Dwellings 1	# New Bedrooms 11	# New Baths 9		Valuation \$565,983.40		Permit Fee \$2,237.50	
Basement		Unfinished 895 Sq. Ft.	Finished 2911 Sq. Ft.	Parcel Number	Deed Number	Plan Check Fee \$1,454.38	
1st Floor		Unfinished Sq. Ft.	Finished 3936 Sq. Ft.	Tax I.D. Number	Driveway Permit Number 94RB054	Access Fee \$40.00	
2nd Floor		Unfinished Sq. Ft.	Finished 3420 Sq. Ft.	Investigation Fee			
All Other Floors		Unfinished Sq. Ft.	Finished Sq. Ft.	Escrow #1 12-5-94		3486⁰⁰	
Total(s)		Unfinished 895 Sq. Ft.	Finished 10267 Sq. Ft.	Escrow #2		\$50.00	
Barn		Garage 1080		Escrow #3			
Other		Greenhouse		Escrow #4			
Zoning Code							
Set Back - Front 100	Set Back - Side 100	Set Back - Side 100	Set Back - Rear 100	Cash Register Number 166	Total Fees Paid		\$ 3,781.88
Electrical Contractor I C G ELECT			Plumbing Contractor FRONTIER PLUMB			Mechanical Contractor J D STEWARD	
Address			Address 1165 GARDEN OF THE GODS			Address	
Phone # (719) 596-6262	License # E93022	Phone # (719) 599-0616	License # P94034	Phone # (719) 548-8880	License # MA93063		
Water WELL				Gas PEOPLES			
Sewer SEPTIC				Electrical MTN. VIEW			
Remarks:							
Approved by Chief Building Official			Date of Issue 04/14/94		Activities Code		Description Code 0101
The approval of plans and specifications does not permit the violation of any section of the Douglas County Building Code. • FIELD INSPECT TO CODE •				<p align="center">• NOTICE •</p> This permit shall become null and void if construction is not commenced within 180 days or if work is suspended or abandoned for a period of 180 days at any time after work has commenced.			

DOUGLAS COUNTY BUILDING PERMIT APPLICATION

+40⁰⁰ Driveway
4-14

DATE <u>3/14/94</u>		Valuation <u>565,983⁴⁰ 3741⁸⁸ / 7227⁸⁸</u>		Permit No. <u>94-876</u>	
Job Address <u>11509 PALMER DIVIDE ROAD</u>		For Office Use <input type="checkbox"/>		Permit Fee <u>2237⁵⁰</u>	
LEGAL <u>W 1/2 SE 1/4, SW 1/4 NE 1/4, S 1/2 NW 1/4, NE 1/4 SW 1/4, SE 1/4 SW 1/4 OF SECTION 33, TWP 108, Range 65 W, SOUTH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, CO.</u>		Plan Name or Model No.		Investigation Fee <input type="checkbox"/> Plan Check <u>1454³⁸</u>	
SUBDIV.		Driveway Permit No.		Check <input type="checkbox"/> Cash <input type="checkbox"/> CC Fee <u>50⁰⁰</u>	
OWNER Name <u>NICK VAN WINGERDEN</u> Address <u>RURAL ROUTE 1, ROUTE 89</u> City <u>GRANVILLE, ILLINOIS</u> Zip <u>61326</u> Phone: H. <u>215-766-0322</u> W. <u>215-965-1127</u>		Foundation Engineer: <u>ENTECH ENGINEERING</u>		E-470 Fee	
		Soils Test By: <u>ENTECH ENGINEERING</u>		School Fee: <u>3486⁰⁰</u>	
		1st. Flr. <u>3936</u> 2nd Flr. <u>3420</u> Add'l. Flr. Sq. Ft. <u>-</u>		Bsmt. Sq. Ft. Unfinished <u>295</u> Bsmt. Sq. Ft. Finished <u>2911</u> Deck Sq. Ft. <u>630</u>	
CONTRACTOR Name <u>H. H. NORMAN CONSTRUCTION, INC</u> Address <u>1229 LAKE PLAZA DRIVE, SUITE B</u> City <u>COLORADO SPRINGS, CO</u> Zip <u>80906</u> Phone: <u>(719) 576-1670</u>		Type Heat <u>FORCED AIR GAS</u> Type Fuel - Nat. Gas <input checked="" type="checkbox"/> LPG <input type="checkbox"/>			
		No. Fireplaces <u>2</u> No. Bedrooms <u>11</u> No. Stoves <u>2</u> No. Baths <u>9</u>			
		Garage Sq. Ft. <u>1080</u> <u>Attached</u> Unattached			
ARCHITECT OR DESIGNER Name <u>DKK WOODS</u> Address <u>Box 5309</u> <u>CALL BUILDER</u> City <u>WOODLAND PARK, CO</u> Ph. <u>(719) 576-1670</u>		Electrical Contr. <u>ICG ELECTRIC, INC</u> Llc No. <u>MASTER 1774 STATE 59</u> Ph. <u>(719) 596-6267</u>			
		Plumbing Contr. <u>FRONTIER MECHANICAL</u> Llc No. <u>1109</u> Ph. <u>(719) 599-0616</u>			
		Mechanical Contr. <u>J.D. STEWARD HEATING & AIR CONDITIONING</u> Ph. <u>(719) 548-8880</u>			
		Conditions: <u>No survey RBB'D NS</u>			
USE		RES. <input checked="" type="checkbox"/> COMM. <input type="checkbox"/> IND. <input type="checkbox"/> CONDO TOWNHOUSE CLUSTER PATIO OTHER			

CLASS OF WORK					
New <input checked="" type="checkbox"/>	Addition <input type="checkbox"/>	Alteration <input type="checkbox"/>	Repair <input type="checkbox"/>	Move <input type="checkbox"/>	Demolish <input type="checkbox"/>

GENERAL DESCRIPTION OF WORK: <u>CONSTRUCT NEW SINGLE FAMILY RESIDENCE</u>	
NO. UNITS: <u>1</u>	NO. STORIES: <u>2 + BSMT</u>
TYPE OF ZONING: <u>A-1</u>	TYPE CONST.: <u>I-N</u>
SETBACK: <u>100³ 15⁺</u>	OCCUPANCY GROUP: <u>R</u>
LOT SQUARE FOOT:	HEIGHT: <u>34'-6"</u>

NOTES TO APPLICANT:
FOR INSPECTIONS CALL 660-8533
 FOR INFORMATION CALL 688-0855
 Any changes in plans from those submitted, must be approved before construction.
 Permit expires 180 days from date issued unless work is started or inspection requested.
 For all work done under this permit, the permittee accepts full responsibility for compliance with the Douglas County Building Code and all other applicable county ordinances.
 Required inspections shall be requested one working day in advance. (8:00 A.M. - 3:30 P.M.)
 A final Electrical inspection shall be made and approved before power will be released, and before the building may be occupied.

SIGNATURE OF APPLICANT [Signature] President

APPROVED BY: _____

DOUGLAS COUNTY BUILDING DIVISION

R E S I D E N T I A L P L A N R E V I E W L I S T

Based upon the 1991 Uniform Building Code (UBC), Uniform Mechanical Code (UMC), Uniform Plumbing Code (UPC), and the 1990 National Electrical Code (NEC).

OWNER'S NAME Van Wingerden PERMIT # 94-0886

IMPORTANT NOTICE:

THIS LIST IS AN INTEGRAL PART OF YOUR APPROVED PLANS. ALL ITEMS CONTAINED ON THIS LIST ARE MINIMUM CODE REQUIREMENTS AND MUST BE COMPLIED WITH IF YOUR CONSTRUCTION IS TO RECEIVE INSPECTION APPROVALS. THE CIRCLED ITEMS ARE THOSE ITEMS WHICH, DURING THE COURSE OF OUR PLAN REVIEW OF YOUR PROJECT, WERE FOUND TO BE INCORRECT, UNCLEAR, OR NOT SHOWN ON YOUR PLANS. SOME ITEMS ARE CIRCLED EVEN IF THEY ARE SHOWN CORRECTLY ON THE PLANS SIMPLY TO REMIND YOU OF AN IMPORTANT CODE REQUIREMENT.

SPECIAL NOTE SHOULD BE TAKEN OF THE CIRCLED ITEMS SO THAT CORRECTIONS CAN BE MADE DURING THE COURSE OF CONSTRUCTION. EVERY EFFORT HAS BEEN MADE TO NOTE ALL NECESSARY CORRECTIONS DURING OUR PLAN REVIEW PROCESS. HOWEVER, ULTIMATELY IT IS THE RESPONSIBILITY OF THE BUILDER TO PERFORM THE CONSTRUCTION ACCORDING TO MINIMUM CODE REQUIREMENTS, REGARDLESS OF WHETHER OR NOT THE ITEMS ARE CIRCLED ON THIS LIST. IF YOU SHOULD HAVE ANY QUESTIONS WHATSOEVER, PLEASE CONTACT THE BUILDING DIVISION AT 660-7497 BEFORE PROCEEDING.

THIS SET OF APPROVED PLANS (STAMPED "APPROVED," DATED & INITIALED) MUST BE AVAILABLE TO THE BUILDING INSPECTOR ON THE SITE WHEN INSPECTIONS ARE MADE. FAILURE TO HAVE THESE APPROVED PLANS ON THE JOB SITE WILL RESULT IN:

- 1) NO INSPECTION BEING PERFORMED
- 2) NO INSPECTION APPROVAL
- 3) NO APPROVAL TO PROCEED WITH THE CONSTRUCTION
- 4) PAYMENT OF A \$30.00 REINSPECTION FEE AT THE BUILDING DIVISION BEFORE THE INSPECTION IS RESCHEDULED (UBC Sec. 305(h)).

SPECIAL NOTE: LICENSING REQUIREMENTS FOR PLUMBING AND ELECTRICAL WORK.

Per Colorado law (CRS 12-58-101 et seq & 12-23-101 et seq, respectively), persons performing plumbing or

electrical work for hire must be licensed by the State Plumbing or Electrical board, respectively, and must be working under the supervision of persons licensed by the state as a plumber, but must also either hold a Master Plumber's license or be working under the direct supervision of a Master Plumber. For electrical work, the person doing the work must not only be licensed, but must also either hold a Master Electrician's license and an Electrical Contractor's license or be working under the direct supervision of an individual licensed as such. The only applicable exception to these laws is that individuals may perform electrical or plumbing work within their own home (see CRS 12-58-113(2) and 12-23-111(2), respectively for details).

APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY PART OF THE DOUGLAS COUNTY BUILDING CODE OR ANY OTHER ORDINANCE OR LAW.

1. Foundations supporting wood shall extend at least 6" above the adjacent finished grade (UBC Sec. 2907(a) and 2516(c)).
2. Footing and foundation systems shall extend a minimum of 36" below finished grade in order to be below the frost line (UBC Sec. 2907(a)).
3. All lumber in contact with concrete or masonry or within 6" of finished grade shall be treated wood or redwood (UBC Sec. 2516(c)).
4. Extend sill bolts 7" minimum into poured concrete and reinforced masonry block foundations and 15" in unreinforced grouted masonry block foundations. Spacing not to exceed 6' o.c. with a minimum of 2 bolts for each sill plate and bolts located 12" of all ends and splices (Sec. 2907 (f)).
5. Wood joists closer than 18" or wood girders closer than 12" to exposed ground within a crawl space are to be treated lumber or wood of natural resistance to decay (UBC Sec. 2516(c)(2)).
6. Wood girders, that are not treated or of redwood, entering concrete or masonry walls must maintain a 1/2" air space (UBC Sec. 2516(c)(5)).
7. Under floor vents shall have a net area of not less than 1 sq. ft. for each 150 sq. ft. of under floor area. Required net area of openings may be reduced to 10% of the above when under floor ground surface is covered with an approved vapor retarder (UBC Sec. 2516(c)(5)).
8. Accessible under floor areas shall be provided with a minimum 18" x 24" unobstructed access opening. (UBC Sec. 2516(c)(2)).

Where equipment is located in an under floor area the access opening shall be of a height and width sufficient to allow the removal of the largest piece of equipment, but not less than 30" x 30". Distance from the access to the center line of the work space in front of the burner shall not exceed 20 feet (UMC Sec. 709).

9. Provisions shall be made for the control and drainage of surface water around buildings. All building pads will be graded 2% away from buildings. Drainage away from the foundation must also meet the requirements of the engineered soils report (UBC Sec. 2905(f) & 7012(d)).
10. Gutters and downspouts are required on all buildings within Douglas County (UBC Sec. 2905(f)).
11. Bond beam required in block foundation walls (UBC Sec. 2407(h)).
12. Except for group M occupancies, Douglas County will not inspect the drilling, reinforcement and placement of caissons (drilled piers), or steel in footers or foundation walls. This inspection must be performed by a qualified engineer. Findings must be detailed in a typed, stamped report to the County Building Division (UBC Sec. 305(e)(1)(C)).
13. Garage floor surface shall be of approved noncombustible materials or asphaltic paving material (UBC Sec. 1105).
14. All lumber, plywood, fiberboard and structural glued laminated timber must be identified by a grade mark or certificate of inspection issued by an approved agency (UBC Sec. 2505).
15. All trusses and/or rafters are to be tied to exterior walls with approved hurricane anchors. Exterior wall sheathing shall be applied in such a manner as to tie top plates to exterior wall studs and exterior wall studs to the floor system in order to resist wind uplift (UBC Sec. 2303(b)(4)).
16. Manufactured truss components must be inspected and approved by a recognized quality control agency as specified in UBC Standard No. 25-17 (UBC Sec. 2510(f)) or provide engineer's stamp on drawings. Prior to rough framing inspection a truss engineering report detailing the bearing points, bracing requirements, load design and spacing must be sent to the Building Division with a copy attached to the **"APPROVED PLANS"**.
17. Ridge beam shall not be less in depth than the end cut of the rafters, and shall be at least 1" nominal thickness (UBC Sec. 2517(h)(3)).

18. Provide attic ventilation equal to 1 sq. ft. per 150 sq. ft. of attic area (UBC Sec. 3205 (c)).
19. Provide a minimum 22" x 30" attic access opening with 30" clear headroom in the least dimension as required by UBC Sec. 3205(a).
20. All roofing is to be installed per Chapter 32.
21. Within an attic or crawlspace foam plastics shall be protected from ignition by 1 1/2" mineral fiber insulation, 1/4" plywood, hardboard or gypsum wallboard, corrosion-resistant sheet metal having a base thickness not less than .016" at any point, or other approved material installed in such a manner that the foam plastic is not exposed (UBC Sec. 1712(b)(2)).
22. Roofs are to be designed with a 30 pound snow load and a 85 mile per hour wind using Table 23-C in the U.B.C.
23. Insulation to be per Douglas County Residential Energy Code. See attached sheet.
24. Natural light at habitable rooms to be equal to 10% of the floor area and natural or mechanical ventilation per UBC Sec. 1205(b).
25. If and/or when the basement is finished, Douglas County will enforce the natural light and ventilation requirement. This must be a consideration in basement design (UBC Sec. 1205).
26. **EVERY SLEEPING ROOM MUST HAVE ONE EXTERIOR DOOR OR ESCAPE WINDOW WITH A MINIMUM 5.7 SQ. FT. NET CLEAR OPENING. THE MINIMUM HEIGHT OF THIS CLEAR OPENING MUST BE AT LEAST 24" WITH THE MINIMUM WIDTH AT LEAST 20". SILL HEIGHT CANNOT BE GREATER THAN 44" ABOVE FINISHED FLOOR. NOTE THAT BOTH MINIMUMS CANNOT BE USED TO ACHIEVE THE 5.7 SQ. FT. NET CLEAR OPENING REQUIRED (UBC SEC. 1204)).**
27. **BASEMENTS SHALL BE PROVIDED WITH AT LEAST ONE EMERGENCY OR ESCAPE WINDOW. A LADDER OR STEPS WILL BE REQUIRED IN ANY WINDOW WELL THAT IS 44" OR MORE IN HEIGHT (UBC SEC. 1204)).**
28. Habitable space shall have a ceiling height of not less than 7'6" except as otherwise permitted in this section. Basements in Group R, Division occupancies and kitchens, halls, bathrooms and toilet compartments in all Group R occupancies may have a ceiling height of not less than 7'0". Beams and heating ducts in basements shall not have a ceiling height of less than 6'8" (UBC Sec. 1207(a)).
29. Smoke detectors shall be installed in each sleeping room and on the ceiling or wall at a point centrally located in the

corridor or area giving access to **each sleeping area**. When a dwelling has more than one story and in dwellings with a basement, a detector shall be installed on each story and in the basement. Where sleeping rooms are on an upper level, the detector shall be placed on the ceiling in close proximity to the stairway. In addition, if the ceiling height of a room open to the hallway serving sleeping rooms exceeds the height of that hallway by 24" or more, a detector shall be installed in that adjacent room. In new construction required smoke detectors shall receive their primary power from the building wiring and shall be equipped with a battery backup (UBC Sec. 1210).

30. All non-bearing basement walls, including stairs are required to have an approved float. Height of the void in a floating wall is determined by the soils report that was engineered for this property. The soils report shows that a 3 inch float is required for this job. Drywall can not extend below the top plate of the floating portion of the wall.

31. Double-keyed deadbolts are not permitted on exit doors from dwellings and guest rooms. Night latches, deadbolts and security chains may be used provided such devices are operable from the inside without the use of a key or tool and are mounted at a height not to exceed 48" above the finished floor (UBC Sec. 3304(c)).

32. Stair handrail shall be placed 34" minimum to 38" maximum above the nosing of the treads. Handrails are to be grippable and cross sectional dimensions to be 1½" to 2" (UBC Sec. 3306(j)).

33. **STAIRWAY MINIMUM HEADROOM REQUIREMENT IS 6'8"** (UBC Sec. 3306(o)).

34. For private residential stairs, maximum riser height is 8", minimum tread width is 9" and minimum stair width is 36" (UBC Sec. 3306(c)).

35. Guardrails must have a minimum height of 36" for single-family dwellings and the interior of individual units of multi-family buildings and 42" for all other occupancies. Note that clearance between intermediate pickets must be such that a 4" diameter sphere cannot pass through (UBC Sec. 1712(a)).

36. Landings shall have a dimension measured in the direction of travel equal to the width of the stairs (UBC Sec. 3306(g)).

37. For enclosed usable space under stairs, provide 5/8" Type "X" gypsum board to underside of walls and soffit. Fireblock stairs at stringers (UBC Sec. 3306(m), 2516(f)).

38. Skylights shall comply with Chapter 34, UBC, for glass skylights and Chapter 52 for plastic skylights.
39. Glazing in certain doors and windows, including windows at showers and tub enclosures located less than 60" above the floor or drain inlet, and shower doors must be impact resistant, safety glazing or tempered glass (UBC Sec. 5406(d)).
40. Shower area walls shall be finished with a hard, non-absorbent surface to a height of 70" above the drain inlet (UBC Sec. 510(b)).
41. Water closet space - minimum width-30", minimum clear space in front-24" (UBC Sec. 511(a)).
42. When a garage is located under a dwelling, or the ceiling is being used as part of the separation, bearing walls, columns and beams supporting the horizontal separation must be protected by materials approved for one-hour fire resistive construction. If a door is to be located between the garage and the residence it must be a tight fitting, solid core door $1\frac{3}{8}$ " thick and be self closing. (UBC Sec. 503(b)).
43. No openings are permitted between garage and rooms used for sleeping (UBC Sec. 1104).
44. Do not penetrate "firewall" (occupancy separation wall between garage and dwelling) with plastic pipe or plastic electrical boxes, except those plastic boxes specifically listed for such use (UBC Sec. 4304(e)).
45. All floorjoist spans shall comply with Table 25-U-J-1.
46. All rafter and ceiling joist spans shall comply with the tables that are located in section 25 of the UBC.
- NOTE: See page 1 and Colorado Revised Statutes (12-23-101 et. seq.) or contact the State Electrical Board at (303) 894-2300 for state licensing requirements for persons performing electrical work.**
47. In dwelling units, at least one wall switch-controlled light fixture or outlet shall be installed in every habitable room; in bathrooms, hallways, stairways and attached garages, and at outdoor entrances (NEC 210-70).
48. Provide ground-fault protection (GFCI) for all 120 volt, single phase 15 and 20 amp receptacles installed in bathrooms, garages, within 6' horizontally of the kitchen sink, and outdoors where the outlets are less than 6'-6" above grade level and readily accessible, and at least one GFCI receptacle

installed in unfinished portions of basements (NEC 210-8).

49. No usable wall space shall be more than 6' from an outlet, and an outlet is required at all counters 12" wide or more, and on any usable wall over 2' (NEC 210-52).

50. At least one lighting outlet and convenience receptacle shall be installed in an attic or crawl space where these spaces contain equipment requiring servicing, or are used for storage (NEC 210-70, UMC Sec. 708 and 709).

51. Incandescent light fixtures installed in clothes closets must be located at least 12" horizontally from the edge of shelves. A flush RECESSED fixture with a solid lens or fluorescent fixture may be installed with a 6" horizontal clearance to the edge of shelves. **PENDANT FIXTURES MAY NOT BE INSTALLED IN CLOTHES CLOSETS (NEC 410-8).**

52. All light fixtures installed in wet or damp locations shall be installed so that water cannot enter or accumulate in wireways, lampholders or other electrical parts. All fixtures installed in these locations shall be marked "**SUITABLE FOR WET LOCATIONS.**"

53. Swimming pools, fountains, hot tubs, spas and hydro-massage "jacuzzi" tubs and similar installations shall comply with all provisions of NEC Article 680, which has severe restrictions on the type and location of switches, outlet and lights.

NOTE: See page 1 and the Colorado Revised Statutes (12-58-101 et. seq.) or contact the State Plumbing Board at (303)894-2300 for licensing requirements for persons performing plumbing work.

54. Provide rigid vent to the outside for clothes dryer. Total combined length, horizontal and vertical, including two 90-degree elbows, shall not exceed 14'. Two feet shall be deducted for each elbow in excess of 2 (UMC Sec. 1903(b)).

55. Provide exhaust fan connected directly to the exterior with rigid pipe and capable of 5 air changes per hour (UBC Sec. 1205).

56. All habitable rooms shall be provided with heating facilities capable of maintaining a room temperature of 70 degrees F. at 3 feet above the floor (UBC Sec. 1212).

57. All class B vents shall be installed according to their approved listing. Single wall vents are to be installed according to table 5-C (UMC Sec. 903(a)).

58. LIQUIFIED PETROLEUM GAS (PROPANE) **SHALL NOT SERVE ANY WATER HEATER OR FURNACE LOCATED IN A PIT, CRAWL SPACE OR BASEMENT WHERE HEAVIER THAN AIR GAS MIGHT COLLECT TO FORM A FLAMMABLE MIXTURE (UPC 1215(f), UMC 2215).**
59. No gas water heater or furnace shall be installed in any room used or designed to be used for sleeping purposes, bathrooms, clothes closets or other confined space with access through a bedroom or bathroom. Exception: sealed combustion chamber type water heaters, direct vent furnaces or enclosed furnaces(UMC Sec.704, UPC Sec.1309).
60. Provide clearance on combustion air side of furnace and 30" working space in front of all heating controls (UMC 703).
61. Solid fuel, oil and gas fired appliances require adequate combustion air (UMC Sec. 602, 603).
62. Gas appliance door must be minimum 24" width, but not less than required for the removal of the largest piece of equipment (UMC Sec. 703).
63. GAS APPLIANCES LOCATED IN A GARAGE SHALL HAVE IGNITION 18" ABOVE THE FLOOR AND MUST BE PROTECTED FROM AUTO IMPACT(UMC Sec. 508)
64. Floor and wall furnaces may not be closer than 6" from an inside corner (UMC Sec. 805).
65. Woodburning stoves and zero clearance/factory built fireplaces must be installed in accordance with the manufacturer's instructions. **ALL FIREPLACES AND STOVES MUST HAVE A LABEL FROM AN APPROVED TESTING AGENCY AND A LABEL SPECIFYING THAT THEY MEET THE STATE OF COLORADO AIR QUALITY STANDARDS (Phase III) or EPA standards (Phase II).**
66. Masonry fireplace shall have permanently installed approved gas logs or an approved certified fireplace insert which meets the EPA Phase II or Colorado III emission tests. Hearth extensions on masonry fireplaces must extend 16" in front of and 8" beyond the sides of the firebox opening, or for fireboxes 6 sq. ft. or larger, 20" in front and 12" beyond the sides (UBC Sec. 3707(1)).
67. Chimneys must extend a minimum of 2' above any part of the building within 10' of the chimney (UBC Table 37-B).
68. Fireplaces and barbecues shall comply with UBC Sec. 3707. Chimneys shall comply with Secs. 3703 and 3707. Gas logs and log lighters installed in solid fuel burning fireplaces shall be installed per the mfg.'s installation instructions, the

testing agency listing, UPC Sec. 1213 and the Douglas County amendments to UMC Sec. 803.

69. Approved numbers or addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property (UBC Sec. 513). Job sites or driveway to sites must be readily identifiable from the county road.
70. Atmospheric vacuum breakers are required on all hose bibb connections and faucets with hose attachments.
71. When a perimeter drain recommendation is made by an engineer such recommendation shall become mandatory. Inspection report will be required to be submitted to our office.
72. Location of furnace or boiler must be shown on plans. All furnaces shall have a minimum AFUE rating of 78% and all boilers shall have a minimum AFUE rating of 80%.
73. Location of water heater must be shown on plans. Floor drain must be located within 5' of the water heater.

The following requirements are for areas that have a Wildfire Hazard rating of 16 or greater. (N.F.P.A. 299)

74. Liquid propane fuel storage tanks and heating oil storage tanks shall be located a minimum distance of 25 feet from any building or structure.
75. Roof coverings shall be a minimum of Class C. Subdivision covenants, conditions, and restrictions shall not require the use of roof covering materials that do not meet Class C requirements.
76. Vents shall be screened with a corrosion-resistant, noncombustible wire mesh with the mesh not to exceed nominal 1/4 inch in size.
77. Eaves, cantilever balconies, and similar undersides of overhangs shall be enclosed with at least 1/2 inch nominal sheathing.
78. The underside of decks and structures with stilt foundations shall be enclosed with 1/2 inch nominal sheathing.
79. All glazed openings that face concentrations of vegetative fuels within 30 feet of the openings shall be provided with closable, solid exterior shutters.
80. Every chimney, flue, or vent shall be provided with an

approved spark arrester consisting of 12-gauge welded or woven wire mesh. Chimney outlets shall be constructed with 10 foot clearance from all vegetation and obstructions.


ADDITIONAL CORRECTIONS:

THESE CORRECTIONS ARE PART OF THE "APPROVED" PLANS AND MUST REMAIN ATTACHED TO THEM.

THE CORRECTIONS NOTED ABOVE AND ALL OTHER APPLICABLE CODE REQUIREMENTS MUST BE COMPLIED WITH IN ORDER TO RECEIVE INSPECTION APPROVALS.

INSPECTIONS WILL NOT BE MADE UNLESS THE "APPROVED" PLANS AND PLAN CHECK LIST ARE AVAILABLE ON THE JOB SITE.

Signature of owner or applicant or their representative.

 _____, President

27-Mar-94

Building Permit Fee

First 3936
Second 3420

Project Name
Model Name

VAN WINGERDEN
94-0896

Third
More?

7356

		Sq Ft	Cost	Valuation
Average		0	\$52.30	\$0.00
Semi-Custom		7356	\$65.15	\$479,243.40
Custom		0	\$74.00	\$0.00
Basement	Unfinished	895	\$14.30	\$12,798.50
	Finished	2911	\$18.50	\$53,853.50
Garage		1080	\$18.60	\$20,088.00
		0	\$0.00	\$0.00
		0	\$0.00	\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00

Total Valuation \$565,983.40

\f

PLAN CHECK	INDIVIDUAL	MASTER	STOCK
Initial Fee	\$2,237.50		
Plan Check	\$1,454.38	\$0.00	\$0.00
C.C. Basin	\$50.00		
E-470			
Red Tag			
SUB-TOTAL	\$3,741.88	\$0.00	\$0.00
SCHOOL FEE	\$3,486.00		
TOTAL FEES	\$7,227.88	\$0.00	\$0.00



ENTECH
ENGINEERING, INC.

4720 FORGE ROAD, SUITE 100
COLORADO SPRINGS, CO 80907
(719) 531-5599
FAX (719) 531-5238

January 31, 1994

H.H. Norman Construction
1229 Lake Plaza Drive #B
Colorado Springs, Colorado 80906

Attn: Hank Norman

Re: Subsurface Soil Investigation
Arie Ranch - County Line Rd. at Campbell Rd.
Douglas County, Colorado

Dear Mr. Norman:

Personnel of Entech Engineering, Inc. have drilled two shallow test borings at the site referenced above. Specific findings for the site are presented in this letter.

Soil Classification: Soil types observed in the test borings drilled on this site were found to consist of sandy clay overlying interbedded sandstone and claystone.

Allowable Bearing Capacity: An allowable bearing capacity of 2200-2400 psf is recommended for the upper sandy clay and 3500-4000 psf is recommended for the lower, dense sandstone. An equivalent hydro-static fluid pressure (in the active state) of 40 pcf is recommended for this site.

Soil Moisture Conditions: Dry to moist

Expansion Potential: An expansion pressure of 1400 psf with 0.6% volume change and 4.7% moisture increase was determined by laboratory tests. This magnitude of expansion is in the moderate expansion range.

Special Considerations: The site is to be graded to walk out the rear of the house. The foundation should bear on the sandstone. The garage foundation walls should penetrate the clay soils and bear on the sandstone.

Foundation Type: A no footing, stemwall-on-grade foundation system is recommended for this site. A foundation design has been prepared by Entech Engineering, Inc.

H.H. Norman Construction
Subsurface Soil Investigation
Arie Ranch - County Line Rd. and Campbell Rd.
Page Two

Reinforcing: Reinforcing should comply with that shown on the foundation design provided by Entech Engineering, Inc. #4 60 grade reinforcing bars may be used in place of #5 40 grade reinforcing bars, if desired.

Floor Slabs: Floor slabs on grade, if any, should be separated from structural portions of the building and allowed to float freely. Interior partitions must be constructed in such a manner that they do not transmit floor slab movement to the roof or overlying floor. Backfill placed below floor slabs should be compacted to a minimum of 90% of its maximum Modified Proctor dry density, ASTM D-1557.

Drainage and Grading: The ground surface must be sloped away from the building with a minimum gradient of 5% for the first 10 feet. This is equivalent to 6 inches of fall across this 10-foot zone. If this is not possible on the upslope side of the structure, then a well defined swale should be created to intercept the surface water and carry it quickly and safely around and away from the structure. Roof drains must be carried across backfill zones and discharged away from the building.

Subdrain: A subsurface drain is recommended for the entire structure. This includes foundation walls between the basement and a crawlspace or garage. Typical drain details are included with this letter.

Backfill: Backfill should be compacted to 90% of its maximum Modified Proctor dry density, ASTM D-1557. Backfill must be compacted by mechanical means. No water flooding techniques of any type should be used in the compaction of backfill on this site.

Concrete: Type II cement is recommended for all concrete on this site.

Open Foundation Excavation Inspection: The open foundation excavation should be inspected prior to construction of the foundation in order to verify that no anomalies are present, that materials at the proper design bearing capacity have been encountered, and that no soft spots or debris are present in the foundation area.

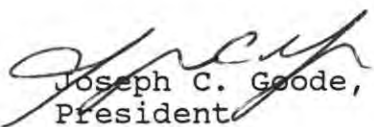
Remarks: The recommendations provided in this letter are based upon the observed soil parameters, anticipated foundation loads, and accepted engineering procedures. The recommendations are intended to minimize differential movement resulting from the heaving of expansive soils or resulting from settlement induced by

H.H. Norman Construction
Subsurface Soil Investigation
Arie Ranch - County Line Rd. at Campbell Rd.
Page Three

the application of building loads. It must be recognized that the foundation may undergo movement. In addition, concrete floor slabs may experience movement; therefore, adherence to those recommendations which would isolate floor slabs from columns, walls, partitions or other structural components is extremely important, if damage to the superstructure is to be minimized. Any subsequent owners should be apprised of the soil conditions and advised to maintain good practice in the future with regard to surface and subsurface drainage, framing of partitions above floor slabs, drywall and finish work above floor slabs, etc.

Respectfully submitted,

ENTECH ENGINEERING, INC.


Joseph C. Goode, Jr., P.E.
President

JCG/ss

Encl.

Entech Job No. 48974
WPRES/48974



colony line rd

ROAD

CAMPBELL

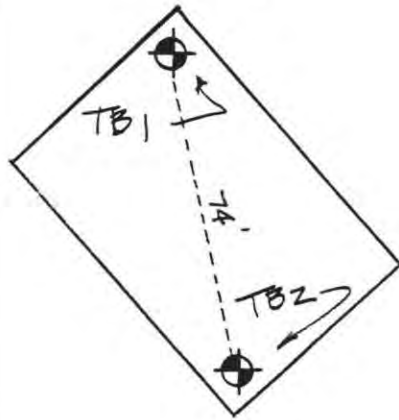
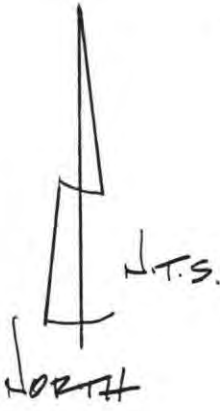
PROPOSED RES

ACCESS ROAD

DOLYBBS COLONY

colony line

EL PASO COLONY



NOTE: LOCATION OF TEST BORINGS APPROX. AND STAKED BY OTHERS.



ENTECH
ENGINEERING, INC.

TEST BORING LOCATIONS

Drawn	Date	Checked	Date
RCD	1.29.74	J/K	2.25.74

Job No.
48774

Fig. No.

1

TEST BORING NO. 1 DATE DRILLED: 1.24.94 REMARKS: DET 1/24/94	Depth (ft.)	Symbol	Samples	Blows per foot	Water Content %	Soil Type	TEST BORING NO. 2 DATE DRILLED: 1.24.94 REMARKS: DET 1/24/94	Depth (ft.)	Symbol	Samples	Blows per foot	Water Content %	Soil Type
CLAY, SANDY RED BROWN, MEDIUM DENSE DRY TO MOIST SANDSTONE, CLAYEY TAN, VERY DENSE, MOIST	5	[Diagonal Hatching]		50	8.9		CLAY, SANDY, RED BROWN, MEDIUM DENSE, DRY TO MOIST SANDSTONE, CLAYEY TAN VERY DENSE, MOIST	5	[Diagonal Hatching]		12	12.4	
	10	[Cross-hatching]		50 1/9"	9.5			10	[Cross-hatching]		43	10.4	
	15	[Cross-hatching]		50 1/8"	5.9			15	[Cross-hatching]		50 1/9"	8.2	
	20							20					



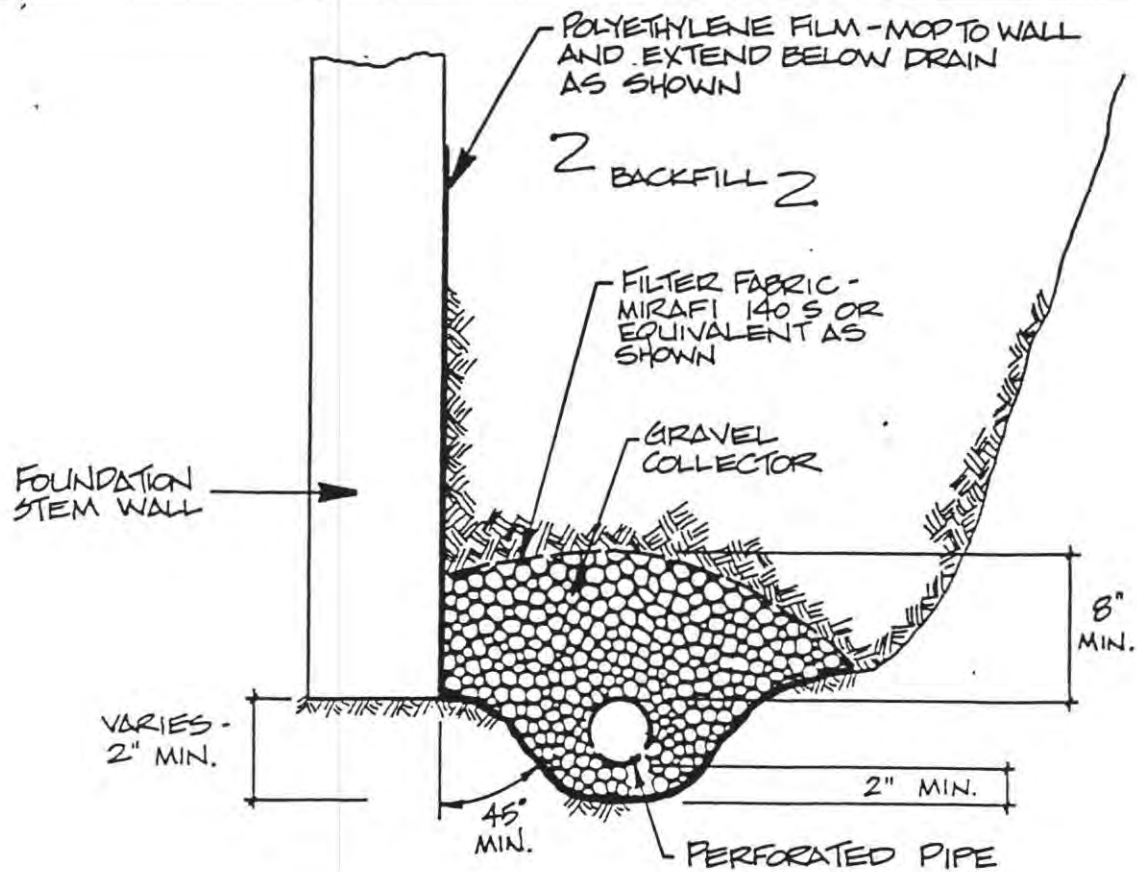
ENTECH
ENGINEERING, INC.

TEST BORING LOGS

Drawn RCD	Date 1.29.94	Checked jch	Date 2.25.94
--------------	-----------------	----------------	-----------------

Job No.
48974
Fig. No.

2



PERIMETER DRAIN DETAIL STEMWALL ON GRADE FOUNDATION

NOTES:

SCALE: 1" = 1'-0"

- . Gravel size is related to diameter of pipe perforations -- 85% gravel greater than 2 x perforation diameter.
- . Pipe diameter depends upon expected seepage. 4-inch diameter is most often used.
- . A sand filter may be used if desired. Contact Entech Engineering, Inc. for criteria.
- . All pipe shall be perforated plastic. The discharge portion of the pipe should be solid, non-perforated pipe.
- . Flexible pipe may be used up to 8 feet in depth, if such pipe is designed to withstand the pressures. Rigid plastic pipe would otherwise be required.
- . Minimum grade for drain pipe to be 1% or 3 inches of fall in 25 feet.
- . Drain to be provided with a free gravity outfall, if possible. Sump and pump only if no gravity outfall.
- . All sites should be inspected to determine the required size of drain components.



ENTECH
ENGINEERING, INC.

PERIMETER DRAIN DETAIL
STEMWALL ON
GRADE FOUNDATION

Drawn	Date	Checked	Date
-------	------	---------	------

Job No.

Fig No.



DOUGLAS COUNTY

Planning and Community Development Department
Building Division

This signed agreement insures that I, the undersigned, shall comply with the following:

1. I shall keep the trash in a container and the lot neat and orderly.
2. I shall have a sanitary toilet available to employees on the site.
3. I shall have a sign posted at the entry of the building site showing the lot, block, address, owner or builders name.
4. I shall keep the permit inspection card posted in a convenient place.
5. I do understand the zoning and building codes, the correct way to construct the building and when to request inspections.
6. I shall see that the building is unoccupied until after all final inspections have passed.
7. I understand that loose dogs on the site may mean no inspections will be performed and a reinspection fee must be paid.

CIRCLE TWO OF THE FOLLOWING REGARDING ELECTRICAL AND PLUMBING

1. I, as a homeowner, will do my own electrical wiring and will personally occupy the home upon completion. I understand the correct way to do electrical wiring and when to request inspections.
2. I, as a homeowner, will do my own plumbing and will personally occupy the home upon completion. I understand the correct way to do plumbing work and when to request inspections.
3. I will hire a licensed electrical contractor to do the electrical wiring. My electrician is ICG ELECTRIC, INC.
Master license number 1994 (MIKE GILBREATH)
State Contractors license number 59
Address 1220 VALLEY ST Phone number (719) 596-6262
City COLORADO SPRINGS, CO Zip code 80915
4. I will hire a licensed plumbing contractor to do the plumbing work. My plumber is FRONTIER MECHANICAL
Master license number 1109 (HARVEY RICHARDSON)
Address 1165 GARDEN OF THE GODS ROAD Phone number (719) 599-0616
City COLORADO SPRINGS, CO Zip code 80907

Signature H. H. NORMAN CONSTRUCTION, INC [Signature] President Date 3/19/94

Lot _____ Block _____ Subdivision _____



Tri-County Health Department

Serving Adams, Arapahoe and Douglas Counties

Hugh Rohrer, M.D., M.P.H.
Director

ENVIRONMENTAL HEALTH DIVISION PERMIT NO. 7-94-049

PERMIT TO CONSTRUCT AN INDIVIDUAL SEWAGE DISPOSAL SYSTEM

OWNER: ARIE VAN WINGERDEN

LOCATION: ARIE RANCH - COUNTY LINE ROAD AT CAMPBELL ROAD

COMPOSED OF * GALLON SEPTIC TANK AND * SQUARE FEET
*MODIFIED INFILTRATION SYSTEM PER ENTECH JOB #48974. WARREN
BROWN LOOKED OVER AND APPROVED. ENTECH MUST PROVIDE SEIVE
ANALYSIS

A PERMIT TO CONSTRUCT SHALL EXPIRE ONE YEAR FROM THE DATE OF
ISSUANCE UNLESS EXTENDED TO A FIXED DATE UPON REQUEST BY THE
APPLICANT AND APPROVAL BY TRI-COUNTY HEALTH DEPARTMENT. A
PERMIT TO REMODEL EXPIRES TWO WEEKS FROM THE DATE OF
ISSUANCE.

THIS PERMIT EXPIRES ON 3-10-95

NOTE: Construction requirements and special conditions relative
to this permit are presented on the accompanying application.
This permit shall not be valid unless a copy of the application
is attached to it.

ISSUED BY *Gay L. Hartzell* OF TRI-COUNTY HEALTH
DEPARTMENT ON 3-10-94

OWNER MUST MAKE SURE THAT THIS ENTIRE WASTE DISPOSAL SYSTEM
REMAINS OPEN FOR INSPECTION UNTIL IT HAS RECEIVED APPROVAL BY
TRI-COUNTY HEALTH DEPARTMENT. TRI-COUNTY HEALTH DEPARTMENT
CANNOT ASSUME RESPONSIBILITY IN CASE OF FAILURE OR INADEQUACY OF
A WASTE DISPOSAL SYSTEM BEYOND CONSULTING IN GOOD FAITH WITH THE
PROPERTY OWNER.

PERMIT FEE OF \$150.00 2-3-94

RECEIVED BY LLJ ON 2-3-94

() Owner Copy (X) Bldg. Dept. Copy () Installer Copy () H.D.

MAR 09 '94 09:02 TRI-COUNTY HEALTH - ENGLEWOOD



Tri-County Health Department
Serving Adams, Arapahoe and Douglas Counties

Permit # 7-94-049

Date Paid: 2-3-94

Check # Paid

Rec'd By: Lg

Application Fee: \$150

APPLICATION TO:
 INSTALL REPAIR EXPAND
AN INDIVIDUAL SEWAGE DISPOSAL SYSTEM

To Be Completed By Applicant - Please Type or Print Clearly

Address/Legal Description of Property Served by Proposed System: SEE ATTACHED EXHIBIT "A"

PALMER DIVIDE ROAD

City and Zip Code: DOUGLAS COUNTY, CO

Property Owner ARIE VAN NINGERDEN

Applicant H.H. NORMAN CONSTRUCTION, INC.

Address 6001 DURHAM RD

Address 1229 LAKE PLAZA DRIVE, SUITE B

City PIPERSVILLE State _____

City COLORADO SPRINGS State CO

Zip _____ Phone (____) _____

Zip 80906 Phone (719) 576-1670

Installer ^{Bill Kunkle} EXCAVATION & SEPTIC SERVICES, Inc.

Design Engineer JOE GOODE, ENTECH ENGR.

License # _____ Phone (719) 475-2252

Job # 48974 Phone (719) 531-5599

Proposed Facility:

Facility Type: Single Family Residence Other _____ Lot Size 720 AC

Source/Type of Water Supply: On Site Well Community Other _____

If supplied by community water, give name of supplier: N/A

General Information:

Number of bedrooms: 11 Basement: Full Walkout Basement Plumbed? Yes No

Are Additional Bedrooms Planned? Yes No Is this property within 400 feet of a sewer line? No

If so, will that sewage district provide service? N/A (attach letter from sewage district)

Is lot marked and are percolation holes staked? YES

I the undersigned hereby certify that all information and data provided is correct and true to the best of my knowledge. I agree that the construction of this individual sewage disposal system will comply with Tri-County Health Department's Regulation I-88 and all other applicable laws and regulations.

[Signature] President 3/9/94
Applicant's Signature Date

Commerce City
4301 E. 72nd Ave.
Commerce City, CO 80022
288-6818

Aurora
15400 E. 14th Pl.
Suite 309
Aurora, CO 80011
241-8878

Castle Rock
413 Wilcox St.
Castle Rock, CO 80104
688-5145

Englewood
4857 S. Broadway
Englewood, CO 80110
781-1340

Northglenn
10190 Bannock St.
Suite 100
Northglenn, CO 80233

For Department Use Only
Design Installation Requirements

All applicable design/installation requirements of Regulation 1-88 shall be complied with in the installation of this system

System designed for: _____ gallons per day and/or 12 bedrooms

Soils data: (See attached Percolation Test and Soil Data Form)

Average percolation rate: 22 (minutes per inch) Depth to groundwater: >10'

Depth to bedrock: >10' Ground slope: 5-6 % to SW.

Type of disposal area proposed: _____

Minimum size tank: 3000 gallons Minimum disposal area (bed): * square feet

Engineer design required? yes Minimum disposal area (trench): * square feet

Maximum depth of disposal area: * (not to exceed depth of percolation test holes)

Minimum depth of installed rock: *

Special Permit Conditions: modified infiltration system
per Entech job # 48974, Warren Brown
looked over & approved. Entech must provide
seim analysis

Design engineer inspection of the completed system required? yes

Site approved by: [Signature] Date: 3/9/74

Application reviewed and approved by: [Signature] / W Brown Date: 3/8/74

Site Visit Comments: Site OK OK to issue permit.

Final Inspection

Inspection Date(s): _____

Septic Tank Size (as built): _____ gallons

Disposal Area Type: _____ Size (as built): _____ square feet

Depth At Deepest Point: _____

Comments: _____

Date Of Final Approval

Environmental Health Specialist

OFFICE OF THE STATE ENGINEER
COLORADO DIVISION OF WATER RESOURCES

818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203
(303) 866-3581

WELL PERMIT NUMBER 176746	
DIV. 1	CNTY. 18 WD 8 DES. BASIN MD

APPLICANT

ARIE VANWINGERDEN
% H H NORMAN CONST INC
1229 LAKE PLAZA DR #B
CO SPGS CO 80906

(719)576-1670

PERMIT TO CONSTRUCT A WELL

APPROVED WELL LOCATION
DOUGLAS COUNTY

SE 1/4 SW 1/4 Section 33
Twp 10 S RANGE 65 W 6th P.M.

DISTANCES FROM SECTION LINES

535 Ft. from South Section Line
2191 Ft. from West Section Line

ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT
CONDITIONS OF APPROVAL

- 1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of the permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
- 2) The construction of this well shall be in compliance with the Water Well Construction and Pump Installation Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 17.
- 3) Approved pursuant to CRS 37-92-602(3)(b)(II)(A) as the only well on a tract of land of 40 acres described as the SE 1/4 of the SW 1/4 of Sec. 33, Twp. 10S, Rng. 65W, 6th P.M., Douglas County.
- 4) The use of ground water from this well is limited to ordinary household purposes inside not more than three single family dwellings, fire protection, the watering of poultry, domestic animals, and livestock on farms and ranches, and the irrigation of not over one (1) acre of home gardens and lawns.
- 5) The total depth of the well shall not exceed 1,100 feet, which corresponds to the base of the Dawson aquifer.
- 6) The maximum pumping rate shall not exceed 15 GPM.
- 7) The return flow from the use of the well must be through an individual waste water disposal system of the non-evaporative type where the water is returned to the same stream system in which the well is located.
- 8) This well shall be constructed not more than 200 feet from the location specified on this permit.

Note: To insure a maximum productive life of this well, perforated casing should be set through the entire producing interval of the approved zone or aquifer indicated above.

JWB. 3/10/94

OWNER'S COPY

APPROVED
JWB

Hal D. Simpson
State Engineer

John B. Bilyeu
By

Receipt No. 0364915

DATE ISSUED MAR 11 1994

EXPIRATION DATE MAR 11 1996

SPECIAL WARRANTY DEED

GEORGE L. BEARDSLEY, GEORGE B. BEARDSLEY and KIRK B. BEARDSLEY (collectively "Grantor"), whose address is c/o George B. Beardsley, 2 Inverness Drive East, Suite 200, City of Englewood, County of Arapahoe, State of Colorado 80112, for good and valuable consideration, in hand paid, hereby sell and convey to NICK VAN WINGERDEN ("Grantee"), whose address is Rural Route 1, Route 89, Town of Granville, County of Putnam, State of Illinois 61326, the following real property in the County of Douglas, State of Colorado, to wit:

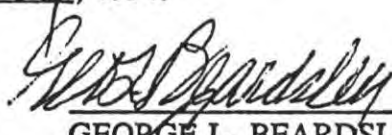
The real property (the "Property") legally described as follows:

West 1/2 Southeast 1/4, Southwest 1/4 Northeast 1/4, South 1/2 Northwest 1/4, Northeast 1/4 Southwest 1/4, Southeast 1/4 Southwest 1/4 of Section 33, Township 10 South, Range 65 West of the Sixth Principal Meridian, Douglas County, Colorado

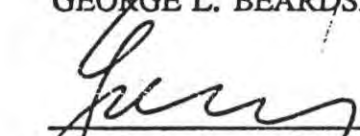
TOGETHER with all improvements thereon and appurtenances thereto, and warrants title to the same against all persons claiming by, through or under Grantor, subject to the matters set forth on **Exhibit A** attached hereto and by this reference made a part hereof.

TOGETHER with Grantor's interest in all water and ditch rights appurtenant to the Property, including without limitation, Beardsley East Cherry Creek Diversions, #1 and #2 Conditional, 1.5 cfs each (June 10, 1971 appropriations), provided all such water and ditch rights are transferred by quitclaim without warranty.

SIGNED this 19 day of January, 1994.



GEORGE L. BEARDSLEY



GEORGE B. BEARDSLEY



KIRK B. BEARDSLEY

STATE OF COLORADO)
) ss.
COUNTY OF ARAPAHOE)

The foregoing instrument was acknowledged before me this 17th day of January, 1994, by GEORGE L. BEARDSLEY.

Witness my hand and official seal.

My commission expires: My Commission Expires 08/23/1995

Dianna M. Esposito
Notary Public

STATE OF COLORADO)
City Denver) ss.
COUNTY OF ~~ARAPAHOE~~)

The foregoing instrument was acknowledged before me this 19th day of January, 1994, by GEORGE B. BEARDSLEY.

Witness my hand and official seal.

My commission expires: 1/13/97

MARGARET A. TAYLOR
NOTARY PUBLIC
STATE OF COLORADO
Margaret A. Taylor
My Commission Expires 01-13-97

STATE OF COLORADO)
) ss.
COUNTY OF ARAPAHOE)

The foregoing instrument was acknowledged before me this 17th day of January, 1994, by KIRK B. BEARDSLEY.

Witness my hand and official seal.

My commission expires: My Commission Expires 08/23/1995

Dianna M. Esposito
Notary Public

BUILDING INSPECTOR

DOUGLAS COUNTY

416 Jerry St. — Castle Rock, Colo. 80104

Phone 688-0855

STOP WORK

COUNTY OF DOUGLAS • STATE OF COLORADO

PURSUANT TO DOUGLAS COUNTY ZONING RESOLUTION, ALL WORKMEN ARE ORDERED TO STOP WORK ON THIS BUILDING FORTHWITH UNTIL AUTHORIZED TO PROCEED BY THE CHIEF BUILDING INSPECTOR OF DOUGLAS COUNTY.

SEC 33 TOWNSHIP 10 S. RANGE 65W

① NOTICE

THIS BUILDING HAS BEEN INSPECTED FOR,

DRIVE PERMIT

APPLICATION HAS NOT BEEN

OBTAINED: ② BLDG PERMIT FOR

WAREHOUSE HAS NOT BEEN

AND IS NOT ACCEPTED.

ISSUED

Date

5-16-94

Building Inspector

Larschbiat

BUB LARSCHBIAT

DO NOT REMOVE THIS NOTICE UNDER PENALTY OF LAW

DOUGLAS COUNTY BUILDING INSPECTION FORM

PERMIT NUMBER	94-0896	INSPECTION NO.	145857	INSPECTION DATE	01/06/95
JOB ADDRESS	11509 PALMER DIVIDE RD				
LEGAL/SUB-DIV.	SEC 33 T10 R65 /				
TYPE INSPECTION	FINAL FRAME				
COMPANY/OWNER	SEC 33 T10 R65				
		APPROVED	DISAPPROVED	REINSPECTION FEE	
INSPECTOR	AK		✓		

I HAVE THIS DAY INSPECTED THIS STRUCTURE AND THESE PREMISES AND HAVE FOUND THE FOLLOWING DISCREPANCIES WHICH ARE NOT TO BE COVERED UNTIL CORRECTION HAS BEEN MADE, REINSPECTION CALLED FOR AND APPROVED.

*Also need you to ck your DRIVEWAY PERMIT
 on Rd* Base & comply NFPA 299 Beck NEXT Inspr
 can be free*

SURVEY WAIVED PER/BETTY ALLEN 9/9/94

- ① NAIL OFF ANCHORS @ 6X6 DECK BOTTOM
- ② NEED GRIPPEL HAND RAILS @ DECK STAIRS
- ③ NEED Full BEARING UNDER JACK'S NORTH DECK STAIRS
- ④ WEATHER TIE GAS LINE FOR B.Q. @ HOUSE RIM
- ⑤ BRING GRADE UP @ FRONT STEPS EQ RISE
- ⑥ UNABLE TO VERIFY TEMPERED GLASS @ FIRE DOORS
- ⑦ SECURE & SEAL DBL LAUNDRY TUB
- ⑧ INSTALL CLOSER ON FIRE DOOR GARAGE
- ⑨ NEED TO SEE FIRE RATING ON 6 pan. DOOR GARAGE
- ⑩ NEED BACK FLOW PREVENTER ON PLANT H² OVER FRONT DOOR
- ⑪ SEAL AROUND BASES OF W/C CK ALL
- ⑫ NEED LADDER AND LIGHT TO INSPECT FURNACE IN ATTIC
- ⑬ LOOSE W/C @ SOUTH BATH - 135MT.
- ⑭ NEED OUT SIDE COMBUSTION AIR DUCT 1" WITH 12" OF CEILING & 1-12" FROM FLOOR CK ALL PLEASE

DOUGLAS COUNTY BUILDING INSPECTION FORM

PERMIT NUMBER	94-0896	INSPECTION NO.	145071	INSPECTION DATE	12/29/94
JOB ADDRESS	11509 PALMER DIVIDE RD				
LEGAL/SUB.-DIV.	SEC 33 T10 R65 /				
TYPE INSPECTION	FINAL ELECTRIC				
COMPANY/OWNER	SEC 33 T10 R65				
	APPROVED	DISAPPROVED	REINSPECTION FEE		
INSPECTOR	<i>Dwy</i>				

I HAVE THIS DAY INSPECTED THIS STRUCTURE AND THESE PREMISES AND HAVE FOUND THE FOLLOWING DISCREPANCIES WHICH ARE NOT TO BE COVERED UNTIL CORRECTION HAS BEEN MADE, REINSPECTION CALLED FOR AND APPROVED.

*** FINAL FRAME INSP NOT COMPLETE ***

SURVEY WAIVED PER/BETTY ALLEN 9/9/94

*OPEN hydro-tub access / 10-FT protected?
 Bedroom closet fluorescent must
 have 6" clearance to shell - Act 410-8*

*NICE Job for so
 big a house!*

DOUGLAS COUNTY BUILDING INSPECTION FORM

PERMIT NUMBER	94-0896	INSPECTION NO.	134987	INSPECTION DATE	10/06/94
JOB ADDRESS	11509 PALMER DIVIDE RD				
LEGAL/SUB.-DIV.	SEC 33 T10 R65 /				
TYPE INSPECTION	SPECIAL INSPECTION				
COMPANY/OWNER	SEC 33 T10 R65				
SURVEY WAIVED PER/BETTY		APPROVED	DISAPPROVED	REINSPECTION FEE	
INSPECTOR	<i>Davy</i>		<i>Drywall</i>		

I HAVE THIS DAY INSPECTED THIS STRUCTURE AND THESE PREMISES AND HAVE FOUND THE FOLLOWING DISCREPANCIES WHICH ARE NOT TO BE COVERED UNTIL CORRECTION HAS BEEN MADE, REINSPECTION CALLED FOR AND APPROVED.

2nd floor only - (OK)

DOUGLAS COUNTY BUILDING INSPECTION FORM

PERMIT NUMBER	94-0896	INSPECTION NO. 132453	INSPECTION DATE 09/16/94
JOB ADDRESS	11509 PALMER DIVIDE RD		
LEGAL/SUB.-DIV.	SEC 33 T10 R65 /		
TYPE INSPECTION	TEMP HEAT		
COMPANY/OWNER	SEC 33 T10 R65		
		APPROVED	DISAPPROVED
INSPECTOR	<i>JW</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REINSPECTION FEE			

I HAVE THIS DAY INSPECTED THIS STRUCTURE AND THESE PREMISES AND HAVE FOUND THE FOLLOWING DISCREPANCIES WHICH ARE NOT TO BE COVERED UNTIL CORRECTION HAS BEEN MADE, REINSPECTION CALLED FOR AND APPROVED.

*** ELECTRIC TEMP HEAT PERMIT NOT ISSUED ***
 SURVEY WAIVED PER/BETTY ALLEN 9/9/94

*Service incomplete - outlet spacing
 per discussion with the electrician
 kitchen, lower level*

DOUGLAS COUNTY BUILDING INSPECTION FORM

PERMIT NUMBER	94-0896	INSPECTION NO. 132453	INSPECTION DATE 09/16/94
JOB ADDRESS	11509 PALMER DIVIDE RD		
LEGAL/SUB.-DIV.	SEC 33 T10 R65 /		
TYPE INSPECTION	ROUGH ELECTRIC		
COMPANY/OWNER	SEC 33 T10 R65		
SURVEY WAIVED PER/BETTY ALLEN 9/9/94		APPROVED	DISAPPROVED
INSPECTOR	<i>JD</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REINSPECTION FEE			

I HAVE THIS DAY INSPECTED THIS STRUCTURE AND THESE PREMISES AND HAVE FOUND THE FOLLOWING DISCREPANCIES WHICH ARE NOT TO BE COVERED UNTIL CORRECTION HAS BEEN MADE, REINSPECTION CALLED FOR AND APPROVED.

No inspection sign affixed windows
doors, ect ~~is~~ sheeting east side

New Card

DOUGLAS COUNTY BUILDING DEPARTMENT

FOR INSPECTIONS: INSPECTION CARD

CALL 660-8533

PERMIT NO. 94-0896

8:00 AM - 3:30 PM day before inspection

DATE 8/24/94

JOB ADDRESS 11509 Palmer Divide Rd
Name

OWNER CONTRACTOR Nick Van Wingerden

Legal Sec 33 T10 R65

Permit issued for Res

REQUIRED INSPECTIONS

APPROVAL IS REQUIRED FOR EACH STAGE OF WORK

	APPROVED	NOT APPROVED	RE-INSPEC. FEE
Caissons (By FDN. Engineer)	_____	_____	_____
Footing Forms "	_____	_____	_____
Steel "	_____	_____	_____
Underground Plumbing	<u>6/6/94 DY</u>	_____	_____
Structural Floor	_____	_____	_____
Construction Meter	_____	_____	_____
Rough Electric	<u>9-20-94</u>	<u>9-16-94</u>	_____
Temp. Heat (Electric)	<u>GD</u>	<u>GD</u>	_____
Elec. Trenches	_____	_____	_____
Heating	<u>9-22-94 KK</u>	<u>9-19-94</u>	<u>KK</u>
Plumbing	<u>9-19-94 KK</u>	_____	_____
me	<u>9-22-94 KK</u>	<u>9-19-94</u>	<u>KK</u>
ing Test	_____	_____	_____
n Inspection	<u>8/19/94 RL</u>	_____	_____
Before Taping or Lath	<u>9-22-94 KK</u>	_____	_____
ior Lath	<u>10-20-94 KK</u>	_____	_____
Driveway Form	_____	_____	_____
<u>GARAGE at 10-6-94</u>	_____	_____	_____
<u>2nd Floor at ONLY</u>	_____	_____	_____

FINAL INSPECTIONS

	APPROVED	NOT APPROVED
Tri-County Health	_____	_____
Driveway	_____	<u>1-6-95 KK</u>
Heating	_____	_____
Plumbing	<u>1-13-95 ONLY</u>	<u>1-6-95 KK</u>
Frame	_____	_____
Electrical	<u>1-6-95 KK</u>	<u>12-29-94 ONLY</u>
Planning & Zoning	_____	_____
Fire Department	_____	_____
County Engineer	_____	_____

BUILDING DEPT.
416 JERRY ST.
CASTLE ROCK, COLO. 80104
688-0855

Note:
You must have a Certificate Survey showing location of improvement and pins in this office before you call for a rough inspection(s). An improvement location certificate will not be acceptable.

POST THIS CARD AS REQUIRED BY CODE

Certificate of Occupancy

County of Douglas

Department of Building Inspection

This Certificate issued pursuant to the requirements of Section 308 of the Uniform Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the county regulating building construction use. For the following:

Bldg. Permit No. 94-0896

Group R Division 3 Use Classification Single-Family Dwelling

Owner of Building Nick Van Wingerden Building Address 11509 Palmer Divide Road

Lot _____ Block _____ Legal or Subdivision Section 33 Township 10 Range 65


Building Official

Date: 17 January 1995

POST IN A CONSPICUOUS PLACE

Certificate of Occupancy

County of Douglas

Department of Building Inspection

This Certificate issued pursuant to the requirements of Section 308 of the Uniform Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the county regulating building construction use. For the following:

Bldg. Permit No. 94-0896

Group R Division 3 Use Classification Single-Family Dwelling

Owner of Building Nick Van Wingerden Building Address 11509 Palmer Divide Road

Lot _____ Block _____ Legal or Subdivision Section 33 Township 10 Range 65



Building Official

Date: 17 January 1995



POST IN A CONSPICUOUS PLACE



Septic SIT
Well SIT

EXIT 163

SE 1/4 NW 1/2 SE 1/4
SEC 33 W 1/2 S 33

Spring
7241

730

E 1/2 SE 1/4
SEC. 33

SE 1/4

DOUGLASS CO.
ELBERT CO.

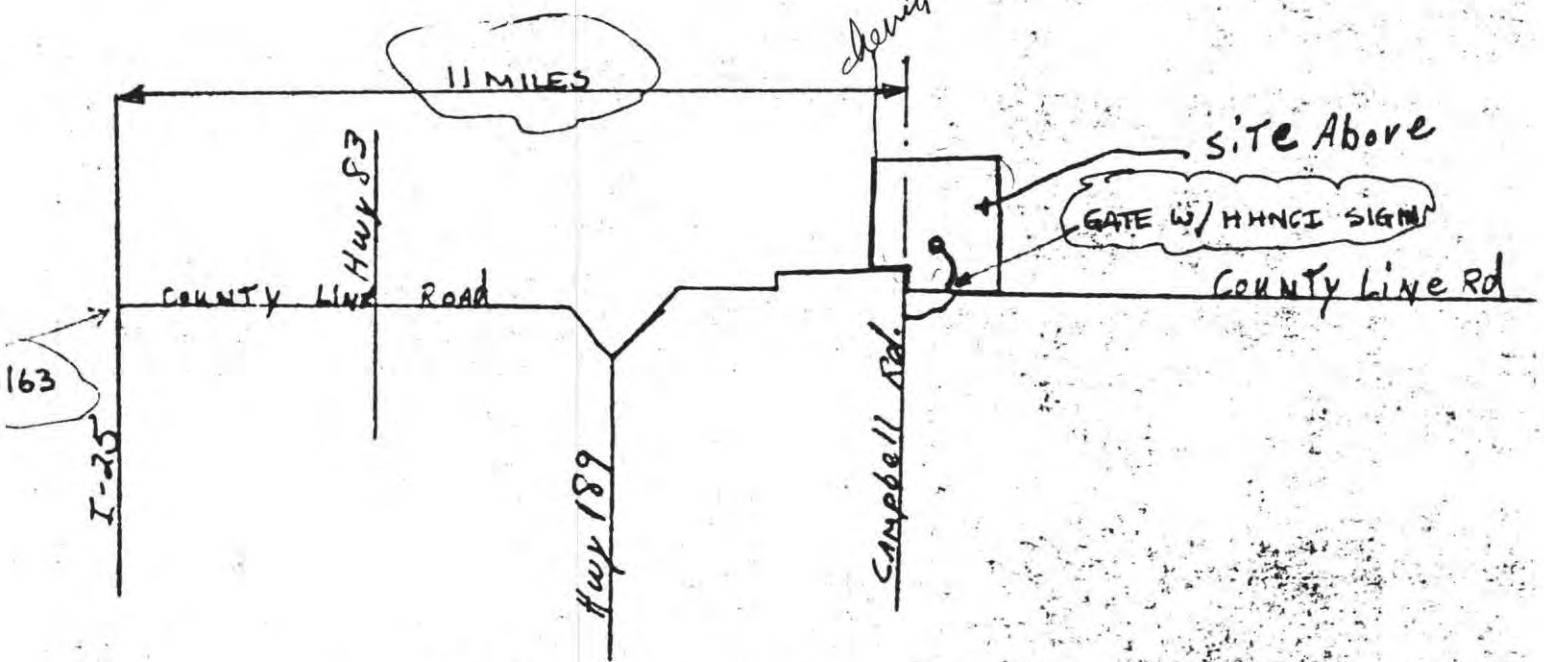
0
ACRES

EL PASO CO.
HOME SITE

Access
ROAD

3/23/94

Site; North East of Home (Two Hundred Feet Between The Septic + Well)
Site; South EAST of Home SYSTEM

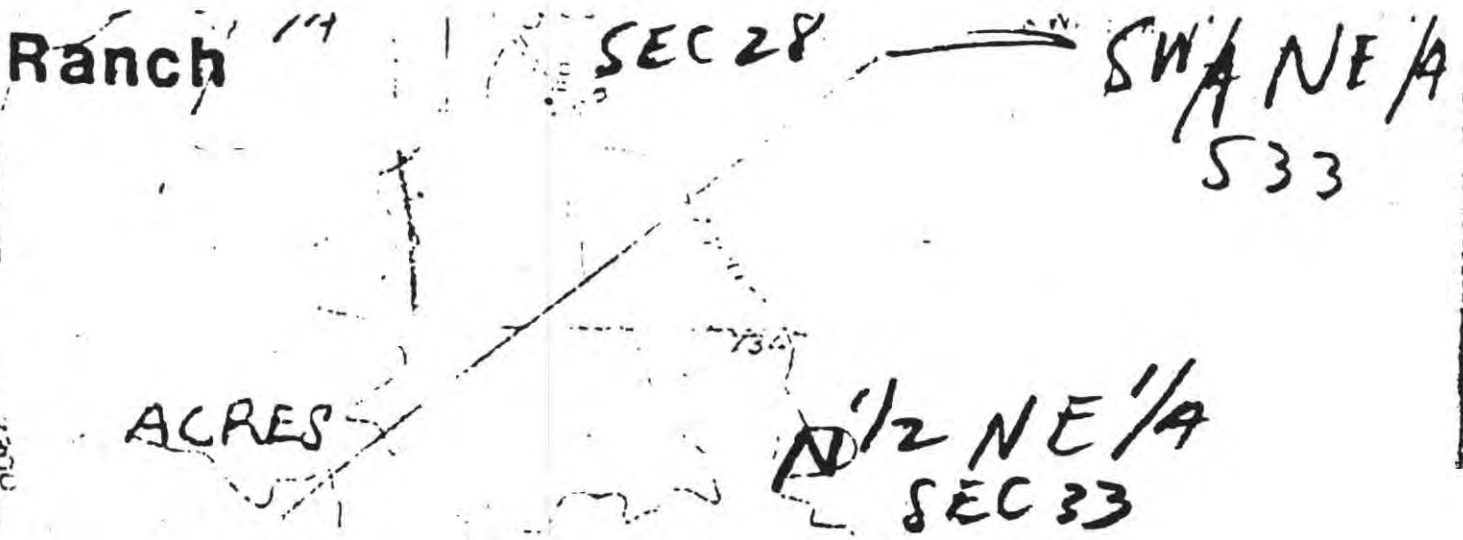


Vicinity MAD

All in Twp. 10 S. Range 65 W

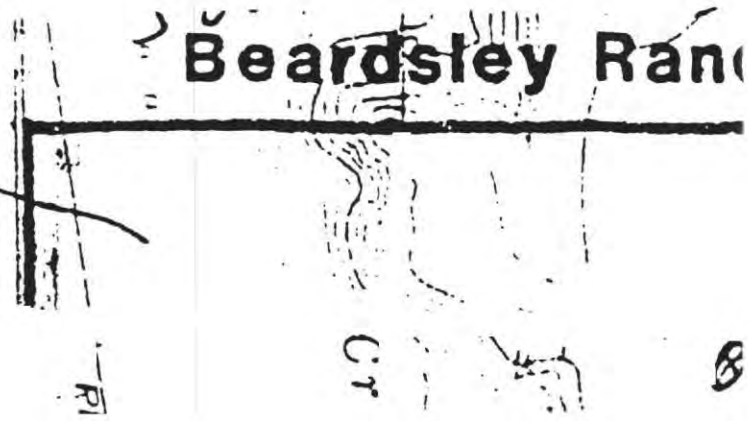
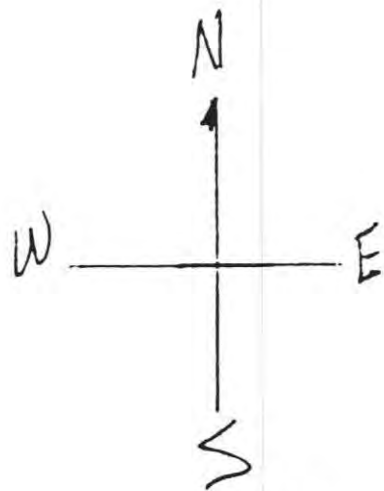
1) $S\frac{1}{2} N\frac{1}{2} S\frac{1}{2} S\frac{1}{2}$ and
 $S\frac{1}{2} S\frac{1}{2} S\frac{1}{2}$ of Sec 28
(120 AC more or less)
Douglas County Co.

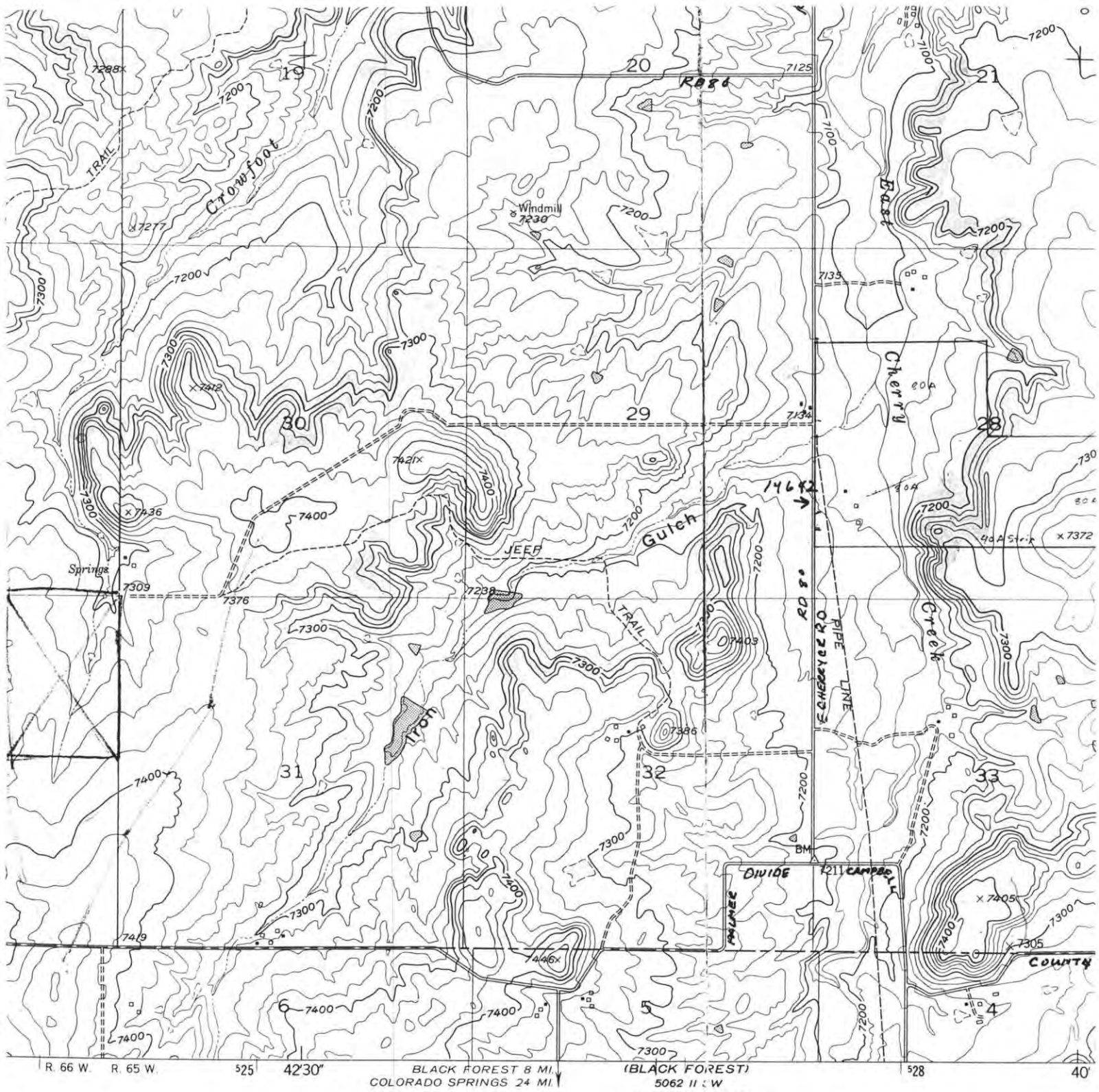
2) All of Sec. 33 except
SW $\frac{1}{4}$ SW $\frac{1}{4}$ and S. 30' of
SE $\frac{1}{4}$ SE $\frac{1}{4}$ (600 AC more or less)
Douglas County, Mo.



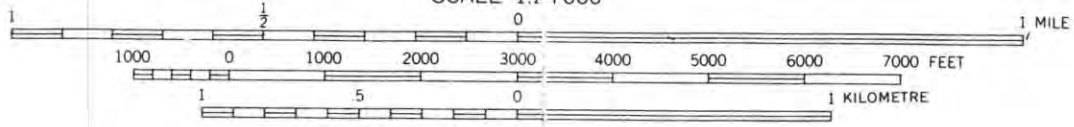


2)

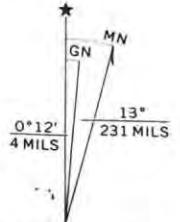




SCALE 1:24 000



CONTOUR INTERVAL 20 FEET
NATIONAL GEODETIC VERTICAL DATUM OF 1929



UTM GRID AND 1969 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
FOR SALE BY U. S. GEOLOGICAL SURVEY, DENVER, COLORADO 80225, OR RESTON, VIRGINIA 22092
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

94-896

H. H. NORMAN CONSTRUCTION, INC.

1/12/95

To: Kerry

Re: Final Inspection, 11509 Palmer Divide Road

- .1. Anchors at bottoms of 6x6 deck piers have all been nailed off.
2. Gripper hand rail has been added to both deck staircases.
3. Additional bearing has been added at deck stair jacks.
4. Gas line to BBQ has been weatherproofed.
5. Grade has been raised at front porch for equal rise. Owners will place a brick walkway this spring when they complete grading and landscaping.
6. "Tempered" etching for Dining Room french doors is in upper row of glass on each door, circled in black.
7. Double laundry tub has been secured and sealed.
8. Door closer has been installed on door from Laundry to Garage.
9. Door to Garage from Laundry is a Nord 20-minute fire-rated panel door (See Warnock-Hersey report attached). Identification stamp is on top edge of door about 1' away from the hinged side. Ladder for inspection is on upper level at attic access (See Item 12. below).
10. Backflow preventer has been installed on water line to planter.
11. Bases of all water closets have been sealed.
12. Ladder for inspection of attic furnaces is in upper hall at attic access. Light and switch are installed in attic at units.
13. Basement bath water closet has been secured.
14. Proper combustion air ducts have been installed for all furnaces.
15. Driveway has been approved per Mariln. Necessary documentation is in the folder in your office. Additionally, owners currently plan to add 4" base and 2" asphalt topping later this year.

Thanks,

Hank Norman

W**Warnock Hersey**

Page 1 of 5
 E. A. Nord Company
 20 Minute Panel Door
 Manufacturing Specifications
 November, 1988
 Revised March 20, 1989
 Revised March 10, 1992

SIZE Single Swing Only

Maximum Height 9'0"

Maximum Width 4'0"

Thickness 1-3/4" +/- 1/16"

PANELS

Wood Species Vertical grain Hemlock (density = 26.25 pcf) or wood of equal or denser species. Wood must be clear with no knots or checks.

Construction 3 ply "sandwich". Two plies of wood laminated to a single 1/8" ply of Weyerhaeuser ULTRA-BOARD SP. Panels laminated with Borden's PVA 928 or Borden's 871 Casein glue. Adhesive manufacturer's instructions must be followed.

NOTE: Panels may be constructed using Masonite 1/4" thick "Flame Test" as an alternate to Weyerhaeuser "Ultra-Board". Same construction and adhesive apply.

OR

Panels may be constructed using "Duraflake FR" (UL 4232) fire retardant 3/8" thick particleboard (min. density = 45.0 pcf) in the center of the sandwich; & 1/2" thick Douglas Fir skins on the outside. Construction is shown in Figure 2.

Maximum Panel Size
 Ultra-Board or
 Masonite Core: 65-9/16" x 18-15/16" (edge of tongue)
 Duraflake Core: 43-1/4" x 18-1/8" (edge of tongue)

Minimum Panel Size: 10-3/16" x 12-15/16" (edge of tongue)
 (For All Cores)

Panel Thickness
 Ultra-Board or
 Masonite Core: 1-5/16" (Tolerance: +1/8" - 0")
 Duraflake Core: 1-3/8" +/- 1/16"

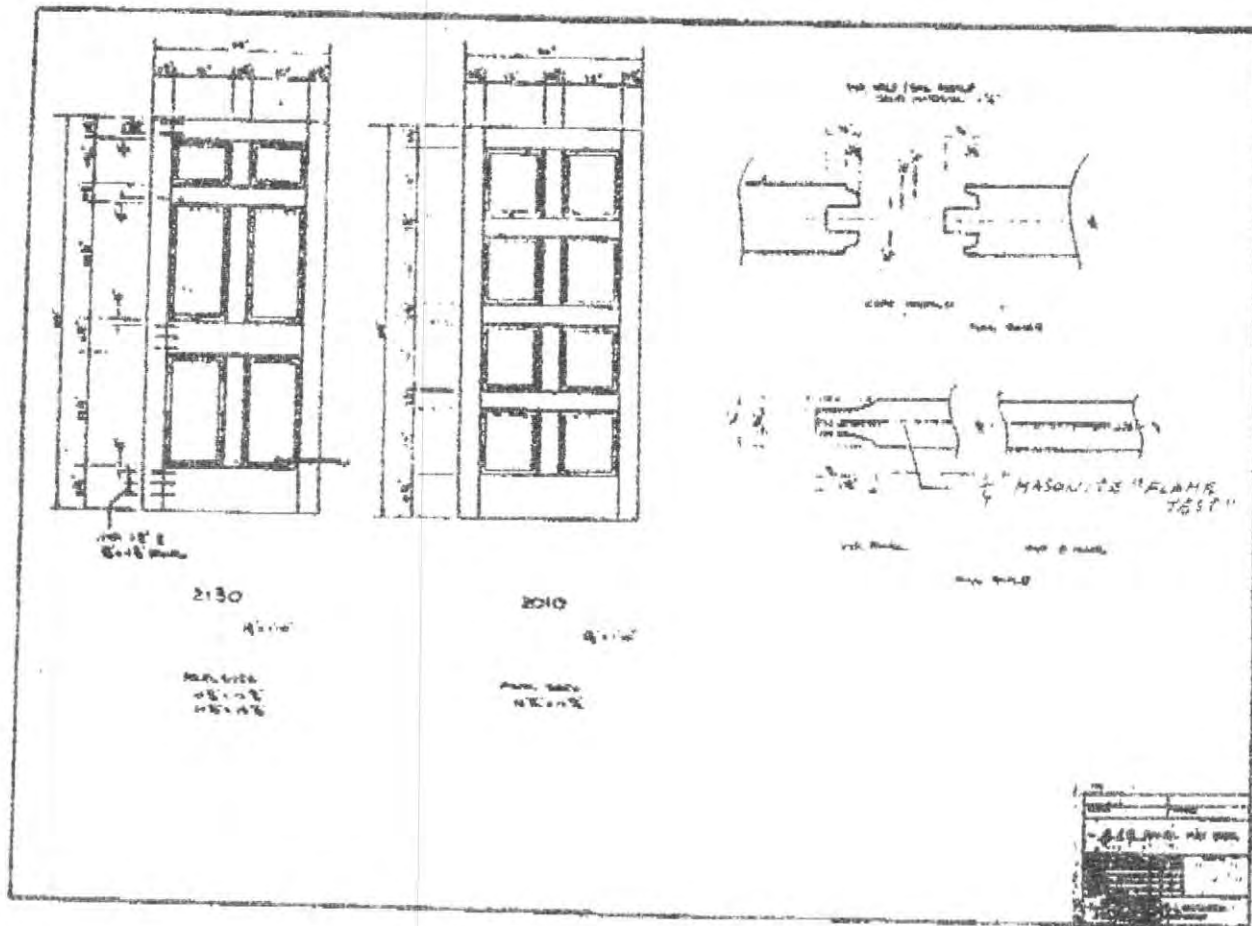
Panels may be faced with 1 ply veneer each side.

Warnock Hersey Professional Services Ltd.

E.A. Nord
Report No. 5543

Page 11

FIGURE 2



NO.	DESCRIPTION	QTY.
1	...	...
2	...	...
3	...	...
4	...	...
5	...	...
6	...	...
7	...	...
8	...	...
9	...	...
10	...	...
11	...	...
12	...	...
13	...	...
14	...	...
15	...	...
16	...	...
17	...	...
18	...	...
19	...	...
20	...	...
21	...	...
22	...	...
23	...	...
24	...	...
25	...	...
26	...	...
27	...	...
28	...	...
29	...	...
30	...	...
31	...	...
32	...	...
33	...	...
34	...	...
35	...	...
36	...	...
37	...	...
38	...	...
39	...	...
40	...	...
41	...	...
42	...	...
43	...	...
44	...	...
45	...	...
46	...	...
47	...	...
48	...	...
49	...	...
50	...	...

Warnock Hersey Professional Services Ltd.

Report No. 5190


Page 8

CONCLUSIONS


The E. A. Nord 4'0" x 9'0" x 1 11/16" panel door met the requirements of the test standards CAN4-S104-M80, ASTM E152, UL 10(B) and UBC 43-2 for a 20 minute rating.

This door is therefore eligible for listing and labelling under the factory inspection program of Warnock Hersey.

TESTED BY:


G. L. Marks, A.Sc.T.
Technician
Fire Laboratories Division

REVIEWED BY:


M. H. James.
Supervisor
Fire Laboratories Division

MJ/tr/86.12.16

490.D5.PC



Warnock Hersey

Moved New Address:
530 GARCIA AVENUE
PITTSBURG, CA 94565

WARNOCK HERSEY INTERNATIONAL, INC.
1101 LOVERIDGE ROAD, PITTSBURG, CA 94565
TEL. (415) 432-7244 FAX 415-432-3576

MANUFACTURING SPECIFICATIONS

FOR

E. A. NORD (DIVISION OF JELD-WEN, INC.)

P.O. BOX 1187

EVERETT, WASHINGTON 98206

20 MINUTE FIRE RATED PANEL DOOR
(RATING INCLUDES HOSE STREAM)

REPORT NO.S: 5190, 5190, 5543 AND 5643
(AND ADDENDA, DATED 1/24/89; 5/8/90)

ANY CHANGES OR MODIFICATIONS OF THESE MANUFACTURING SPECIFICATIONS
MUST BE APPROVED BY WARNOCK HERSEY INTERNATIONAL, INC. IN WRITING.

ANY DEVIATIONS FROM THESE SPECIFICATIONS WILL BE CAUSE FOR
REJECTION OF THE DOOR AND FRAME.

NOVEMBER, 1988
REVISED MARCH 20, 1989
REVISED MARCH 10, 1992
PAGE 1 REVISED APRIL 6, 1992

VANCOUVER REGINA WINNIPEG SAULT STE MARIE HAMILTON TORONTO MONTREAL DARTMOUTH ANTIOCH LONG BEACH MADISON BUFFALO BALTIMORE

DOUGLAS COUNTY BUILDING DEPARTMENT
 301 WILCOX STREET
 CASTLE ROCK, CO 80104

FOUNDATION COMPLIANCE FORM

BUILDING PERMIT # 94-0896
 CONSTRUCTION SITE ADDRESS: 11509 Palmer-Divide Road
Douglas County, Colorado
 CONTRACTOR'S NAME AND PHONE: H. H. Norman Construction
719-576-1670

I/We hereby state that the foundation system for the above referenced project was constructed in substantial conformance with the foundation plans and specifications designed for this project and the site where it is constructed.

Indicate type of inspection and date made:

DATE

	CAISSON depth and STEEL (by Soils Engineer)
	CONTINUOUS SPREAD FOOTINGS (by Soils Engineer)
6/24/94	DRAIN INSPECTION ISOLATED WALLS AND SOILS ENGINEER
	FOUNDATION WALL REINFORCING STEEL
	WALL ON GROUND
	PRESSURE TREATED WOOD FOUNDATION

STRUCTURAL ENGINEER _____
 SOILS ENGINEER Entech Engineering, Inc.
 DATE 6/27/94



Joseph C. Goode, Jr., P. E.

NOTE: A ROUGH ELECTRICAL INSPECTION SHALL NOT BE REQUESTED UNTIL THIS FORM HAS BEEN RECEIVED BY THE DOUGLAS COUNTY BUILDING DEPARTMENT. FAILURE TO SUBMIT THIS FORM SHALL RESULT IN A HOLD ON THE CERTIFICATE OF OCCUPANCY AS REQUIRED UNDER SEC 307 (C) OF THE 1985 EDITION OF THE UNIFORM BUILDING CODE.



ENTECH
ENGINEERING, INC.

4720 FORGE ROAD, SUITE 100
COLORADO SPRINGS, CO 80907
(719) 531-5599
FAX (719) 531-5238

June 27, 1994

H. H. Norman Construction
1229 Lake Plaza Drive #B
Colorado Springs, Colorado 80906

Attn: Hank Norman

Re: Drain Inspection
11509 Palmer Divide Road
Douglas County, Colorado

Dear Mr. Norman:

As requested, personnel of Entech Engineering, Inc. have observed the subsurface perimeter drain installation at the above referenced site.

At the time of our initial inspection, portions of the drain system were not installed properly. Personnel of Entech Engineering, Inc. recommended moving the drain system away from the foundation wall and grouting the previous drain area. The repaired drain system consisted of a 4-inch diameter flexible pipe surrounded by a clean, coarse gravel. The drain was protected with a synthetic filter fabric material. A polyethylene membrane was mopped to the foundation wall and extended beneath the drain. Line and grade was spot checked and appeared adequate. In general, the drain installation is in substantial conformance with our recommendations.

We trust this has provided you with the information you required. If you have any questions or need additional information, please do not hesitate to contact us.

Respectfully submitted,

ENTECH ENGINEERING, INC.


Joseph C. Goode, Jr., P. E.
President

JCG/ss

Entech Job No. 48974
WPLET/48974.3



Building Permit No. 94-896

ELECTRICAL APPLICATION AND PERMIT

Electrical Permit No. _____

INSTRUCTIONS: Fill out this form completely. This permit must be taken out before installation is begun. Check fee schedule on reverse side of this sheet for proper fee. Residential fees are based on square footage. Commercial and other fees are based on cost of job. You must have this permit number when calling for an inspection. The fee must accompany this request. Make check payable and mail to:

Douglas County Building Department
301 Wilcox Street
Castle Rock, CO 80104

⁶⁶⁰⁻⁸⁵³³
For Inspections, call - ~~660-7435~~
8:00 AM - 3:30 PM for Inspection
following work day.

⁶⁶⁰⁻⁷⁴⁹⁷
For Information and Inspectors, call - ~~688-0855~~

*Final Frame, Plumbing and Heating Inspections must be approved before receiving Final Electrical Inspection for Certificate of Occupancy.

Date 8-18-94

ELECTRICAL CONTRACTOR ICG ELECTRIC, INC Phone 719-596-6262

Master License No. 1994 Contractor's License No. 54

Address 1220 VALLEY ST City COLORADO SPRINGS, CO Zip 80915

POWER SUPPLIER INTERMOUNTAIN R.E.A.

EXACT LOCATION OF INSTALLATION:

Owner Nick Van Wingerden
~~H.H. NORMAN CONST~~ Phone 576-1670

Job Address 11509 FAUMER-DIVIDE City _____

Lot _____ Block _____ Subdivision _____ Filing _____

Service Size 60 Amp Type of Heat _____

Description of Installation: Residence () Commercial () Construction Meter (X)

Temporary Heat () Upgrade () Other _____

Square Footage (Residence) _____ Actual Cost (Other) _____

For all work done under this permit, the permittee accepts full responsibility for compliance with the N.E.C. and all other applicable codes. A final inspection shall be made before power will be released and before the building may be occupied.

Signature Steve Chen Total Fee \$36.00

FEE SCHEDULE

RESIDENTIAL

(This includes Modular Homes, Travel Trailers, Duplexes, Apartments and Condominiums. Construction, extensive remodeling and additions are based on the enclosed living area.)

AREA	FEE
Not more than 1,000 sq. ft.	\$40.00
Over 1,000 sq. ft. and not more than 1,500 sq. ft.	\$65.00
Over 1,500 sq. ft. and not more than 2,000 sq. ft.	\$75.00
Per 100 sq. ft. in excess of 2,000 sq. ft.	\$ 3.00
 Construction Meter	 \$36.00
 Reinspection Fee	 \$30.00
 Temporary Heat (Temporary Heat Permits will be issued for a period of sixty (60) days only. At the end of this time service will be disconnected.)	 \$40.00

COMMERCIAL AND ALL OTHER FEES

(These fees shall be computed on the dollar value of the electrical installation, including fixtures and installation costs, etc.)

VALUATION OF WORK	FEE
Not more than \$300.00	\$36.00
More than \$300 and not more than \$2,000.00	\$45.00
More than \$2,000.00	Anything over \$2,000.00 is \$ 16 per \$ 1,000 valuation
 Mobile Homes and Travel Trailer Parks	 \$36.00 per space
 Construction Meter	 \$36.00
Temporary Heat	\$40.00

I have read this application and understand that no service will be given by IREA (Intermountain Rural Electric Association) until a Building Permit has been submitted with an application for service in their office.

HOMEOWNER:

Due to the workload of our inspectors and the limited number of inspectors in our office, we are unable to layout your job or explain the wiring requirements. By signing this you are verifying that you are capable of doing the wiring yourself. If your work does not meet the latest edition of the National Electrical Code or any other applicable codes and is turned down by our electrical inspector, a Reinspection Fee of \$30 must be paid to this office prior to receiving a reinspection.

In applying for this Electrical Permit, I certify that I am the owner of the house and am or will be living in the house for which I am taking out this permit. I agree that I will do the electrical wiring myself and that I will install all the wiring in accordance with the latest edition of the National Electrical Code and all other applicable codes.

~~Wayne to Ben East~~
5/16/94

- 1) DRIVE TO HOUSE SITE IS INCOMPLETE
 - A) NO CULVERT @ PALMER D. RD.
 - B) " PASS-BYS
 - C) APPROX. 1/2 MILE FROM P.D. RD. TO HOUSE SITE
 - D) EMERGENCY VEHICLE(S) WOULD NOT BE ABLE TO REACH THE HOUSE SITE
 - E) PAY SCRAPER & GRADER WORKING THE DRIVE IS BEING GRADED AND FILLED WITH BURDEN FROM HOUSE FDTN,
 - F) DRIVE @ THIS TIME WILL HAVE A SECTION WHICH WILL EXCEED 10% MAX. SLOPE REQ.

- 2) HOUSE SITE DOES NOT HAVE
 - A) SAN-O-LET SERVICE
 - B) ENCLOSED TRASH CONTAINER

P H O N E M E M O	TO	Bob	DATE	5/18	TIME	12:00	AM	PM					
	FROM	Randy Teague	AREA CODE		NO.	#3303							
	OF	Eng'r.	EXT.										
M E S S A G E	Both sections of road are maintained by Elliott and El Paso Co. They should issue access permits.												
SIGNED													
PHONED	<input checked="" type="checkbox"/>	CALL BACK	<input checked="" type="checkbox"/>	RETURNED CALL	<input type="checkbox"/>	WANTS TO SEE YOU	<input type="checkbox"/>	WILL CALL AGAIN	<input type="checkbox"/>	WAS IN	<input type="checkbox"/>	URGENT	<input type="checkbox"/>

WAYNE;

THIS IS THE LATEST & GREATEST
FROM "WACO II" ALIAS
"FLOWER POWER"
"THE FAMILY FROM TRI-CORNERS"

BUILDING INSPECTOR

DOUGLAS COUNTY

416 Jerry St. — Castle Rock, Colo. 80104

Phone 688-0855

STOP WORK

COUNTY OF DOUGLAS • STATE OF COLORADO

PURSUANT TO DOUGLAS COUNTY ZONING RESOLUTION, ALL WORKMEN ARE ORDERED TO STOP WORK ON THIS BUILDING FORTHWITH UNTIL AUTHORIZED TO PROCEED BY THE CHIEF BUILDING INSPECTOR OF DOUGLAS COUNTY.

NOTICE

THIS BUILDING HAS BEEN INSPECTED FOR, ^① DRIVE PERMIT APPLICATION HAS NOT BEEN OBTAINED; ^② BLDG PERMIT FOR WAREHOUSE HAS NOT BEEN ISSUED AND IS NOT ACCEPTED.

Date

5-16-94

Building Inspector

Larsen

BOB LARSENBIAT

DO NOT REMOVE THIS NOTICE UNDER PENALTY OF LAW

SEC 33, TOWNSHIP 10 S.
RANGE 65 W

① CALLED 4/29 LEFT MESSAGE TO DOUG W.

PAGER 1-800-533-3717
LOCAL 660-9293

② CALLED 5/6 LEFT MESSAGE P.M.

NO ROADBASE YET

4/29 ① HOUSE NEEDS 15" CULVERT, BLASTING FOR
GREEN HOUSE FDTN. YENTEL CO, MORRISON CO
697-9334

WILL NEED PERMIT APP. & CULVERT FOR
DRIVE(S) INTO GREENHOUSE AREA.

5/6 3:15PM Doug spoke he will apply
for drive permits for barn &
greenhouse areas & adhere to
NFPA-299

0049

94-896

DOUGLAS COUNTY BLDG. DEPARTMENT

416 Jerry Street
Castle Rock, Colorado 80104

OFFICE USE

INFORMATION 660-7497

INSPECTIONS 660-8533

DATE	4-14-94
PERMIT #	94RB054
AMOUNT PAID	40 ⁰⁰

REQUIREMENTS FOR OBTAINING A DRIVEWAY PERMIT

1. Applicant Name HANK NORMAN
H. H. NORMAN CONST, INC (H) Phone 719-576-1972 (W) Phone 719-576-1670
 Address 1229 LAKE PLAZA DR, SUITE B City COLORADO SPRINGS, CO Zip 80906

2. Property Owner (Permittee)
 Applicant Name NICK VAN WINGARDEN (H) Phone 215-766-0322 (W) Phone 215-965-1127
 Address RR #1, ROUTE B9 City GRANVILLE, IL Zip 61326

3. Address of Property to be served: 11509 PALMER DIVIDE RD
SE 1/4, SW 1/4

4. Legal description of property: Section 33 Township 10S Range 6S W
 Subdivision _____ Filing _____ Lot _____ Block _____

5. The approved access approach would be located a distance of approximately 100 feet
 from the EAST QUARTER SECTION LINE

6. Highway plan, driveway plan and profile will be required by the

NOTE: FLOW LINE OF DITCHES MUST REMAIN CLEAR AT ALL EARTH WORK: ANY MUD OR OTHER MATERIALS TRACK BE REMOVED DAILY OR AS ORDERED BY THE INSPECTOR

NICK, YOU MUST OBTAIN A DRIVEWAY PERMIT RIGHT AWAY FOR THE GREENHOUSE ACCESS. ADDITIONAN, YOU SHOULD NOT BE BLASTING FOR THE FOUNDATION UNTIL YOU SUBMIT FOR PLAN REVIEW.
15" culvert

- OFFICIAL _____
- Residential — Urban: Minimum width 16 feet - maximum width _____
 - Residential — Rural: Minimum width 18 feet - maximum width _____
 - Commercial: Minimum width 30 feet - maximum width _____
 - Culvert approved size by Douglas County. Size 15"
 - Pan with 6-6-10 wire, 6 inch thick, 4 inch dip, class A concrete _____ size (Min. 6 ft. - max. 10 ft.) (80°-90° approach angle plus 45 degree flares). (Inspections-forms and final)
 - Concrete Trough and Grate per County Specs attached (Inspections - forms and final)
 - Six inch class 6 road base (80°-90° approach angle and 20 feet radius or as much as possible). Final inspection only.
 - Temporary construction access approved. Contact this office after 10 working days for final disposition.

Other COMPLY WITH REQUIREMENTS OF NFPA 299

INSPECTOR [Signature] PERMITTEE/REPRESENTATIVE _____
 DATE 4/28/94 DATE _____

WHITE — BLDG. CANARY — INSPECTOR PINK — APPLICANT

THIS IS FOR HOUSE ONLY

94-894

DOUGLAS COUNTY BLDG. DEPARTMENT

416 Jerry Street
Castle Rock, Colorado 80104

OFFICE USE

INFORMATION 660-7497

INSPECTIONS 660-8533

DATE	4-14-94
PERMIT #	94RB054
AMOUNT PAID	40 ⁰⁰

REQUIREMENTS FOR OBTAINING A DRIVEWAY PERMIT

- Applicant Name HANK NORMAN
H. H. NORMAN CONST, INC (H) Phone 719-576-1992 (W) Phone 719-576-1670
Address 1229 LAKE PLAZA DR, SUITE B City COLORADO SPRINGS, CO Zip 80906
- Property Owner (Permittee)
Applicant Name NICK VAN WINGERTEN (H) Phone 215-766-0322 (W) Phone 215-965-1127
Address RR #1, ROUTE 89 City GRANVILLE, IL Zip 61326
- Address of Property to be served: 11509 PALMER DIVIDE RD
SE 1/4, SW 1/4
- Legal description of property: Section 33 Township 10S Range 65 W
Subdivision _____ Filing _____ Lot _____ Block _____
- The approved access approach would be located a distance of approximately 100 feet from the EAST QUARTER SECTION LINE ~~EAST QUARTER SECTION LINE~~ front corner pin
- Highway plan, driveway plan and profile will be required by the issuing authority.

NOTE: FLOW LINE OF DITCHES MUST REMAIN CLEAR AT ALL TIMES TO MAINTAIN PROPER DRAINAGE.
EARTH WORK: ANY MUD OR OTHER MATERIALS TRACKED OR OTHERWISE DEPOSITED ON THE ROADWAY SHALL BE REMOVED DAILY OR AS ORDERED BY THE INSPECTOR AND/OR FOREMAN.

OFFICE USE ONLY

- Residential — Urban: Minimum width 16 feet - maximum width 22 feet including flare or radius.
- Residential — Rural: Minimum width 18 feet - maximum width 24 feet including flare or radius.
- Commercial: Minimum width 30 feet - maximum width 40 feet including flare or radius.
- Culvert approved size by Douglas County. Size 15" (Minimum 15 inches)
- Pan with 6-6-10 wire, 6 inch thick, 4 inch dip, class A concrete _____ size (Min. 6 ft. - max. 10 ft.) (80°-90° approach angle plus 45 degree flares). (Inspections-forms and final)
- Concrete Trough and Grate per County Specs attached (Inspections - forms and final)
- Six inch class 6 road base (80°-90° approach angle and 20 feet radius or as much as possible). Final inspection only.
- Temporary construction access approved. Contact this office after 10 working days for final disposition.
- Other COMPLY WITH REQUIREMENTS OF NFPA 299

INSPECTOR B. K. K... [Signature] PERMITTEE/REPRESENTATIVE _____
DATE 4/28/94 DATE _____

WHITE — BLDG. CANARY — INSPECTOR PINK — APPLICANT

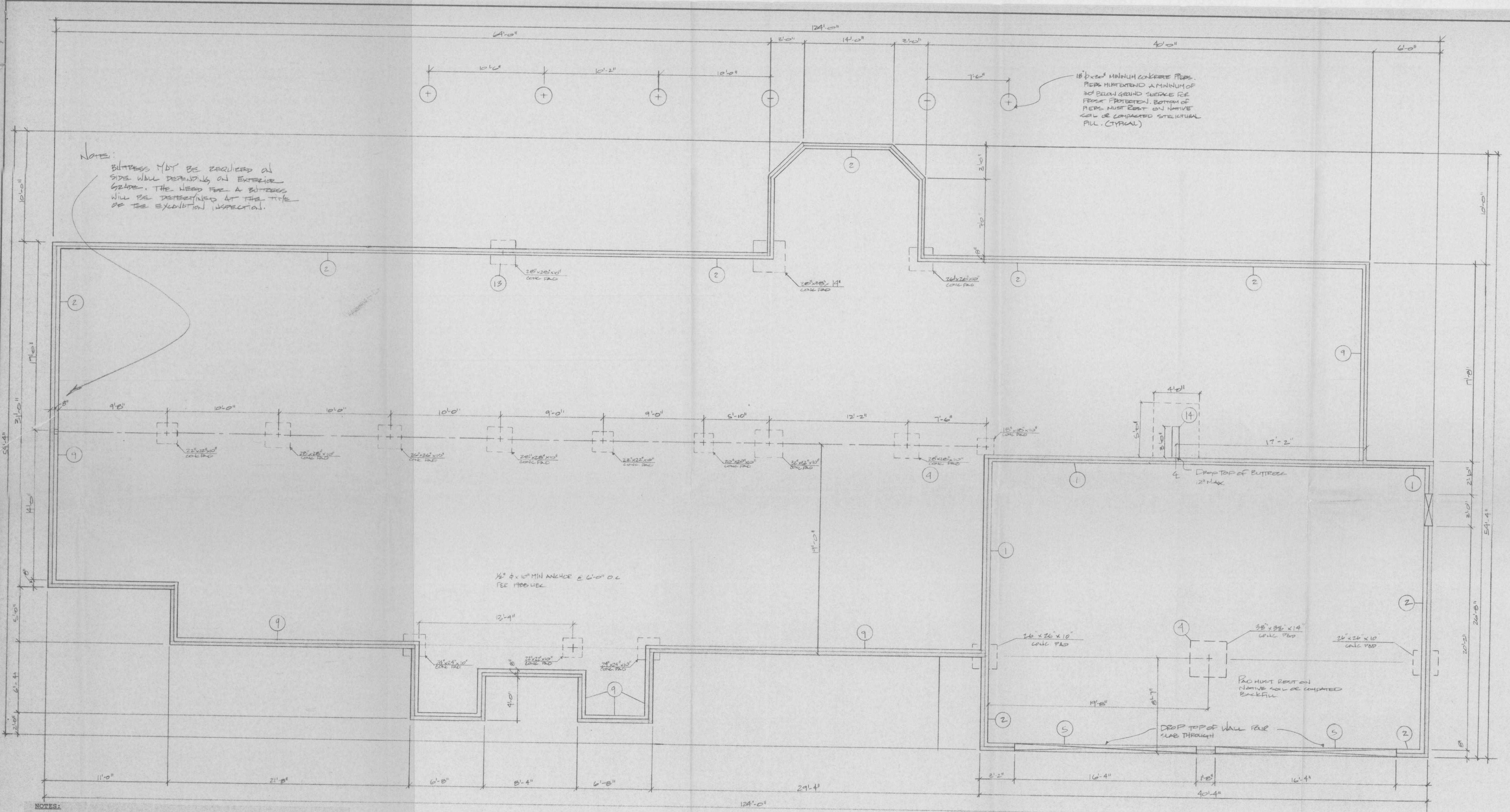
THIS IS FOR HOUSE ONLY

DOUGLAS COUNTY BUILDING DEPARTMENT

416 JERRY STREET
CASTLE ROCK, CO 80104

The following paragraphs are terms and conditions of the Driveway Permit. The property owner or their representative are required to read all the following terms. A signature on the permit constitutes an understanding and acceptance of the terms and conditions.

1. Return all copies of the application to the Bldg. Dept. (Applications received by 3:30 may have the preliminary inspection the following work day.) Before an inspection is made, an address sign must be posted at driveway location and the center line of the driveway staked at the right-of-way. Driveways not properly staked and marked will cause a delay in processing and may constitute an additional fee to be charge for a re-inspection.
2. The permit will take approximately three working days to process. At this time you may come to the Bldg. Dept., sign the permit for access construction and pay the fee.
3. FEES: Residential - \$40.00
Commercial/Industrial - \$60.00
Re-inspection - \$30.00
4. FOR INSPECTIONS CALL 660-8533 BETWEEN 8:00 AND 3:30 AND THE INSPECTION MAY BE DONE THE FOLLOWING WORK DAY. CONCRETE FORMS MUST BE INSPECTED BEFORE CONCRETE IS POURED. An approved final inspection is necessary before obtaining a Certificate of Occupancy or Certificate of Compliance.
5. A copy of this permit must be available on the construction site.
6. The permitted access approach shall be completed in accordance with the terms and conditions of the Douglas County Bldg. Dept. prior to being used. A request for variance from the standards of the access regulations shall be submitted to the issuing authority with a permit application and may be considered an attachment to the permit application form. The request for variance shall include specific and documented reasons for the request. At any time during the review by the issuing authority of the permit application, the applicant may supplement his application with a variance request.
7. Should the applicant (1) choose to contest a permit application denied by the Department or (2) choose to contest any of the terms or conditions of the permit, the applicant must do so within 15 days of receipt of notice of denial or receipt of the conditional approval permit. The applicant shall make the request for the review in writing and submit it to the Bldg. Dept. The request shall include reasons the applicant is appealing the action and may include recommendations by the applicant that would be acceptable to the applicant and the Department. The County Engineer of designee shall make a final decision in regards to appeal. A basis for variance shall be but not limited to the following conditions: (1) there is exceptional and undue hardship on the applicants, (2) a variance would not be detrimental to the public health, welfare and safety, and (3) a variance is reasonably necessary for the convenience, safety and welfare of the public.
8. An early access approach shall be installed upon initial site earthwork. Natural soils may be used to construct this access. No material from roadtops or ditch lines shall be used to construct driveway. The early access and the final access may be at the same location. The early access will be maintained in a satisfactory manner to insure that mud and debris are not transported from the site onto the public road. Great care shall be taken, in the constuction of the access approach so as not to create damage to the county right-of-way. Any damage to the county right-of-way created by the construction of the access shall be repaired be the permittee/applicant. (3" class 6 road base on temporary driveway. Then another 3" class 6 road base before final inspection.)
9. It is the responsibility of the owner of the property to ensure the use of the access approach to the property is not in violation of the regulations, permit terms and conditions. These terms and conditions are binding upon all assigns, successors-in-interests and heirs.
10. When a permitted access is constructed or used in violation of the regulations, permit terms and conditions, either the issuing authority or the Board of County Commissioners or both may obtain a court order enjoining violation of the access regulations, permit terms and conditions. Such access permits may be revoked by the issuing authority, if at any time the permitted access and its use fail to meet the requirements of the access regulations, or the terms and conditions of the permit. Such revocation may be appealed to the Board of County Commissioners who shall act as final authority.
11. The permittee or representative serviced by a lawful access approach may make a physical improvement to the access approach with the permission of the issuing authority. The applicant shall make the request on standard permit application forms and specify that the request is for improvements. Denial of the application for improvements does not constitute revoking the existing permit.
12. A copy of the permit shall be available for review at the construction site. If necessary, minor changes and additions shall be ordered by the department field inspector to meet unanticipated site conditions.
13. The permit may require the contractor to notify the individual or office specified on the permit at certain phases in construction to allow the field inspector to inspect various aspects of construction such as forms, sub-base and base course compaction.



NOTE:
 BUILDINGS NOT BE LOCATED ON
 SITES WITH DEPOSITING ON EXISTING
 GRADE. THE HEAD FOR A BUILDING
 WILL BE DETERMINED AT THE TIME
 OF THE EXCAVATION INSPECTION.

18" MINIMUM CONCRETE PADS.
 PADS MUST BE A MINIMUM OF
 30" BELOW GRADE SURFACE FOR
 PROPER PROTECTION. BOTTOM OF
 PADS MUST BE ON NATIVE
 SOIL OR COMPACTED STRUCTURAL
 FILL (TYPICAL)

3/8" Ø x 10" MIN ANCHOR @ 6" O.C.
 FOR FLOOR SLAB

PAD MUST REST ON
 NATIVE SOIL OR COMPACTED
 BACKFILL

- NOTES:
- Take dimensions from the architectural plan, except for foundation components.
 - All miscellaneous details shall be in accordance with instructions from manufacturer or designer.
 - Reinforcing should be continuous around building as shown.
 - Minimum lap of reinforcing should be 10 bar diameters.
 - All foundation pads must be formed to the proper dimension.
 - Floor slabs must be separated from all structural portions of building with an expansion joint of minimum 1/2" thickness.
 - All non-bearing partitions above floor slabs must be constructed with a minimum 1-1/2" gap at the bottom to permit vertical movement of floor slabs.
 - Where floor slabs or garage slabs span areas of deep, uncompacted backfill, they may be connected to the foundation wall immediately above the backfilled area by means of either a formed shear key of minimum 1-1/2" x 1-1/2" dimension, or steel dowels consisting of #4 bars at 18" o.c.
 - Stairways should not be constructed as rigid connections between floors, but should allow floor slabs to move vertically.
 - Door jacks should not be built tight to slabs on grade.
 - Mechanically compact all interior backfill to 90% of maximum Proctor density, ASTM D-1557. All exterior backfill should be mechanically compacted to 90% of maximum Proctor density, ASTM D-1557.
 - Walls having backfill on both the interior and exterior faces should have the backfill on either side brought up approximately together. Otherwise, where possible, no exterior backfill should be placed until the floor slab and floor joists are in place or the wall is otherwise properly braced.

- Minimum recommended design strength of foundation concrete shall be 3000 psi.
- Foundation forms should remain in place a minimum of three (3) days.
- A gravel pad beneath floor slabs is not recommended.
- Planters, if any, should be well sealed and drained.
- Slope backfill away from the building a minimum of 5% for the first 10 feet. Carry roof drains across the backfilled areas. Do not allow water to stand or pond near the building. Do not flood the backfill.
- This design has been completed in accordance with pertinent standards, recommended design soil parameters, and accepted engineering design procedures, and is based on the best information available at the time of completion. The design is intended to minimize differential movement resulting from the heaving of expansive soil induced by seasonal moisture changes. It must be recognized that foundation components, and in particular, floor slabs and other flatwork, will undergo movement. Adherence to those details isolating floor slabs from columns, walls, partitions or other structural components is extremely important if damage to the superstructure is to be minimized. Any subsequent owners should be apprised of the expansive soil condition, if any, and advised to maintain good practices in the future with regard to surface and subsurface drainage, framing of partitions above floor slabs, drywall and finish work above floor slabs, etc.
- #4 Ø 60 grade reinforcing bars may be used in place of #5 Ø 40 grade reinforcing bars, if desired.

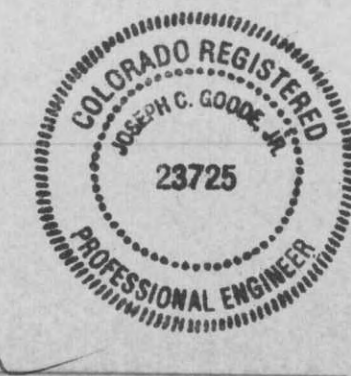
FOUNDATION PLAN
 SCALE: AS SHOWN

- NOTES:
- The foundation excavation must be inspected by Entech Engineering, Inc. prior to placing forms or concrete to verify that the design is appropriate for the site.
 - The foundation was designed according to the building plans provided by H.H. Norman Construction and the soil report by Entech Engineering, Inc. dated January 31, 1994, Job No. 48974.

LEGEND

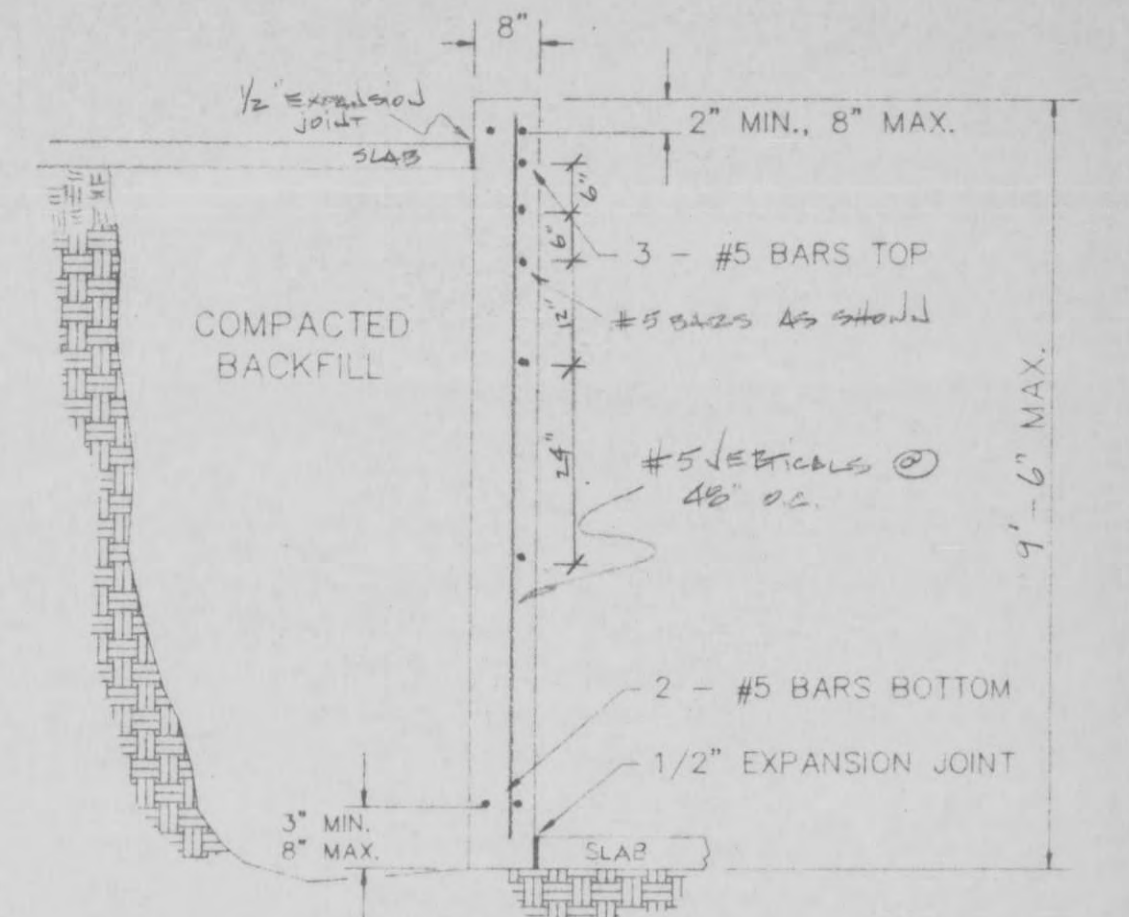
	FOUNDATION WALL
	BEAM
	DETAIL
	FOUNDATION PAD

- * REINFORCING MUST REMAIN CONTINUOUS ABOVE ALL WINDOWS AND DOORS, UNLESS OTHERWISE NECESSARY.
- * VERIFY TOP OF FOUNDATION ELEVATIONS AND TOP OF WALLS BUILT PRIOR TO POURING CONCRETE.
- * VERIFY FOUNDATION DIMENSIONS AND LOCATIONS WITH ORIGINAL PLANS PRIOR TO SETTING FORMS OR POURING CONCRETE.
- * VERIFY MUD-SILL LOCATIONS WITH ARCHITECTURAL PLANS PRIOR TO SETTING FORMS OR POURING CONCRETE.
- * SET FOUNDATION WALLS PER GRADE, PER NOTES G, J, AND K.

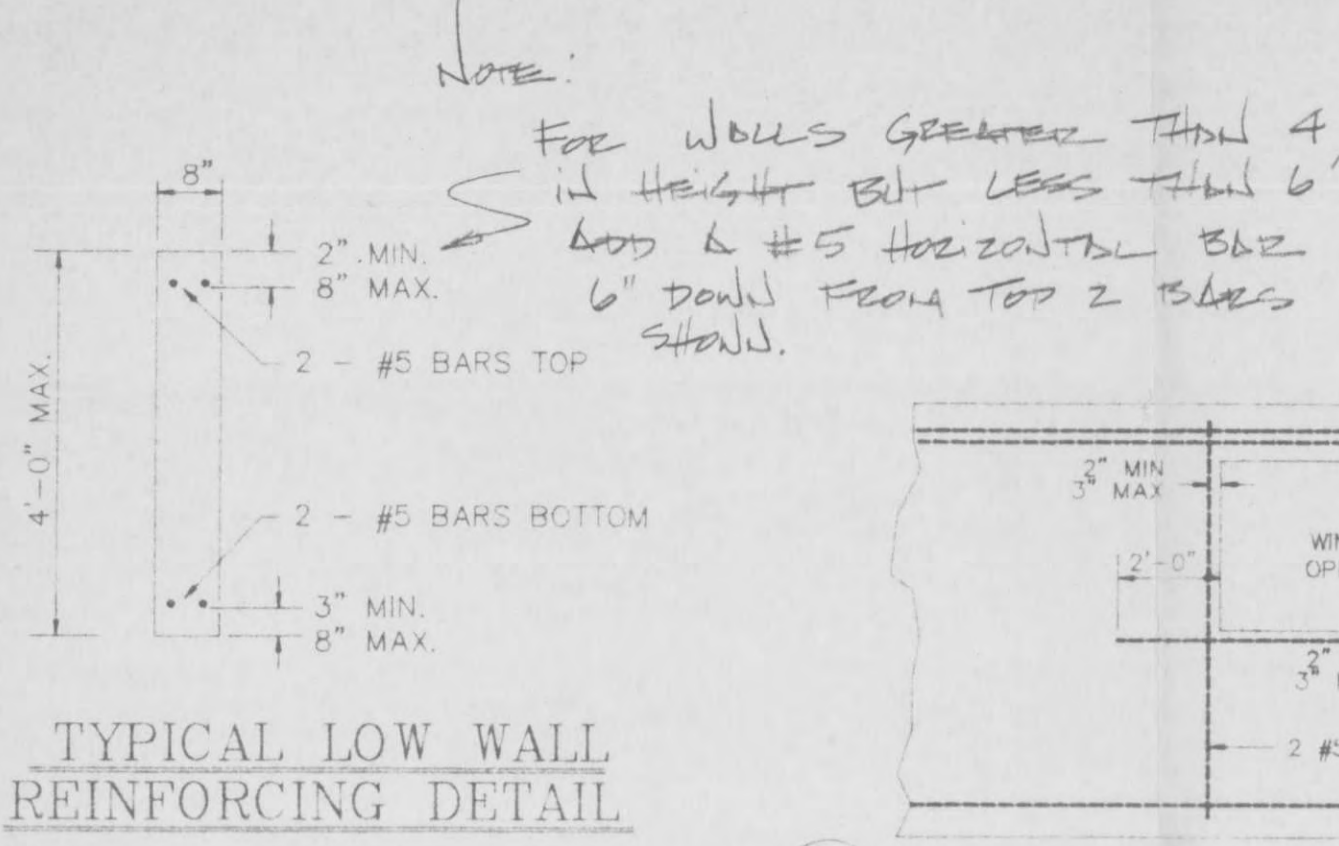


ENTECH
 ENGINEERING, INC.
 531-5599

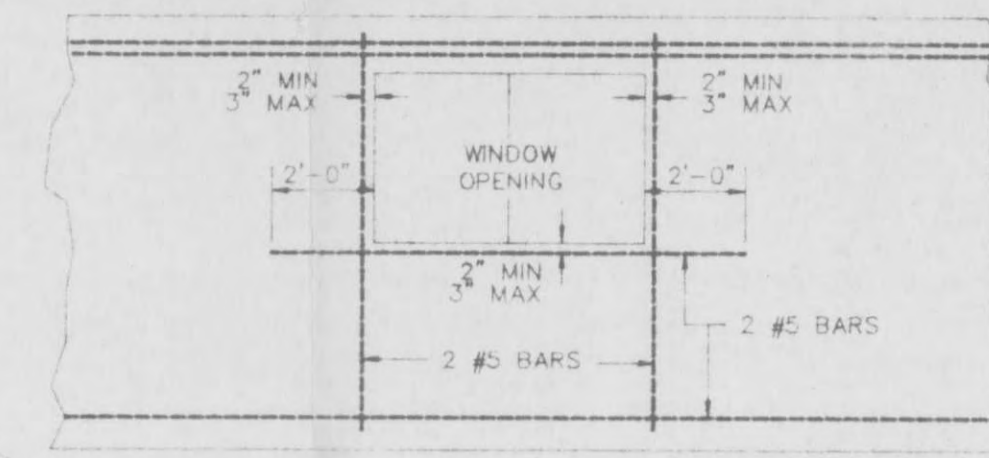
H.H. NORMAN CONST.		COUNTY LINE RD.	
ARIE RANCH			
DATE SUBMITTED	REVISIONS	BY	DATE
10-2-94			
DESIGNED BY	DATE		
10-2-94			
FOUNDATION PLAN		JOB NO. 48974	1 OF 2



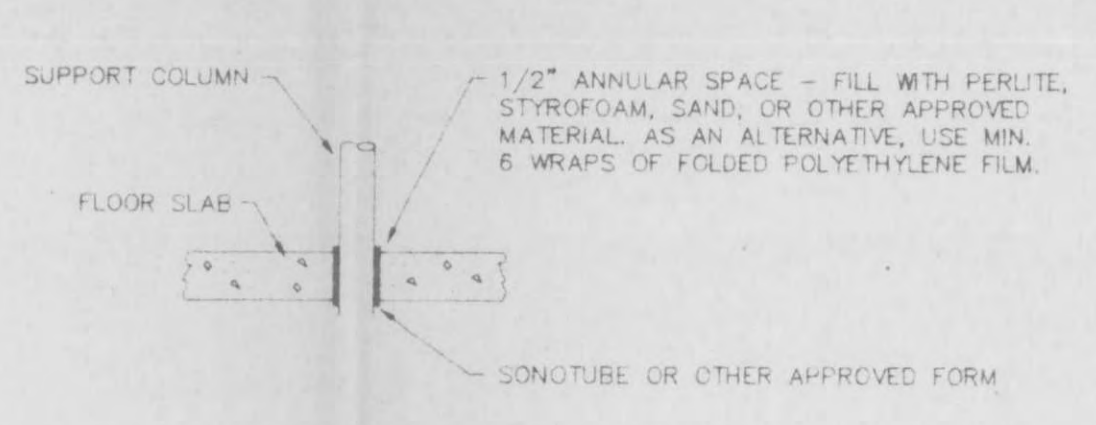
1 TYPICAL FULL BASEMENT WALL



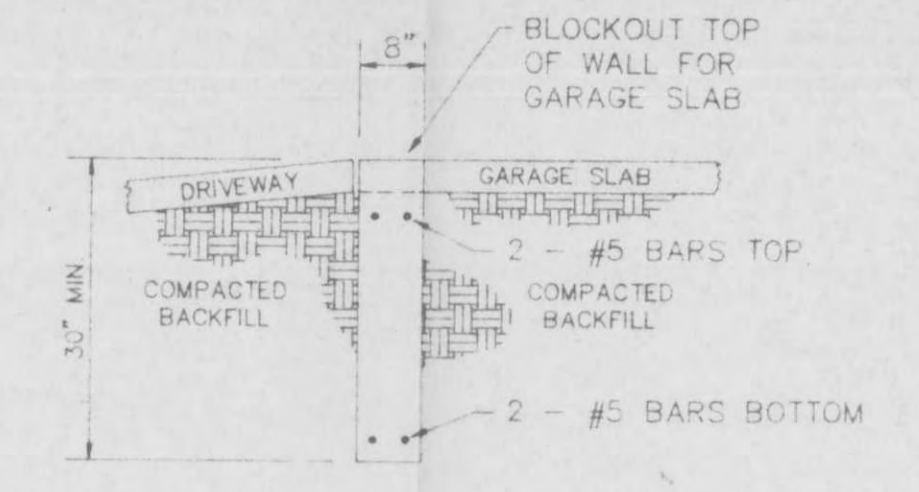
2 TYPICAL LOW WALL REINFORCING DETAIL



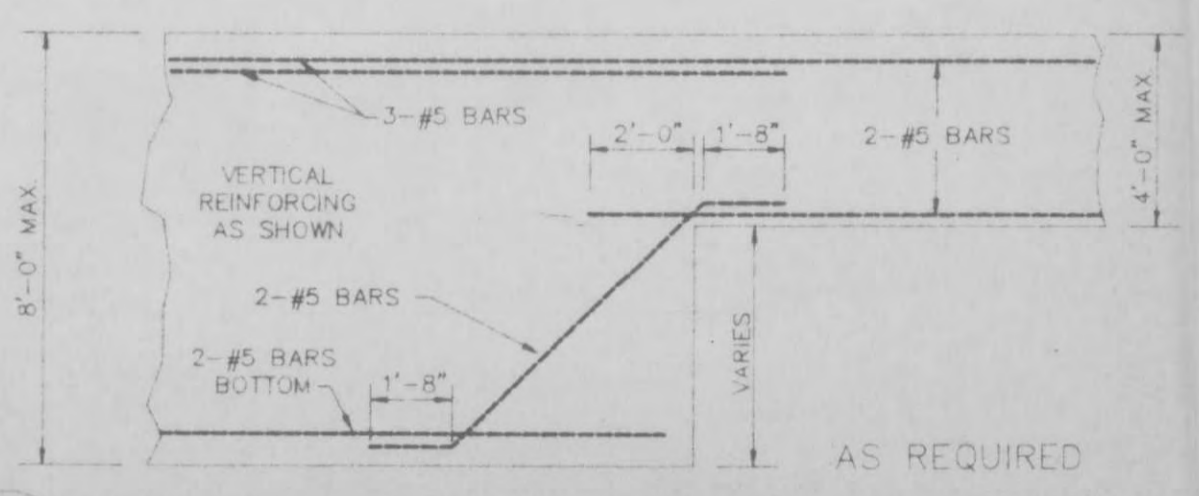
3 TYPICAL REINFORCING DETAIL AT WINDOW OPENING



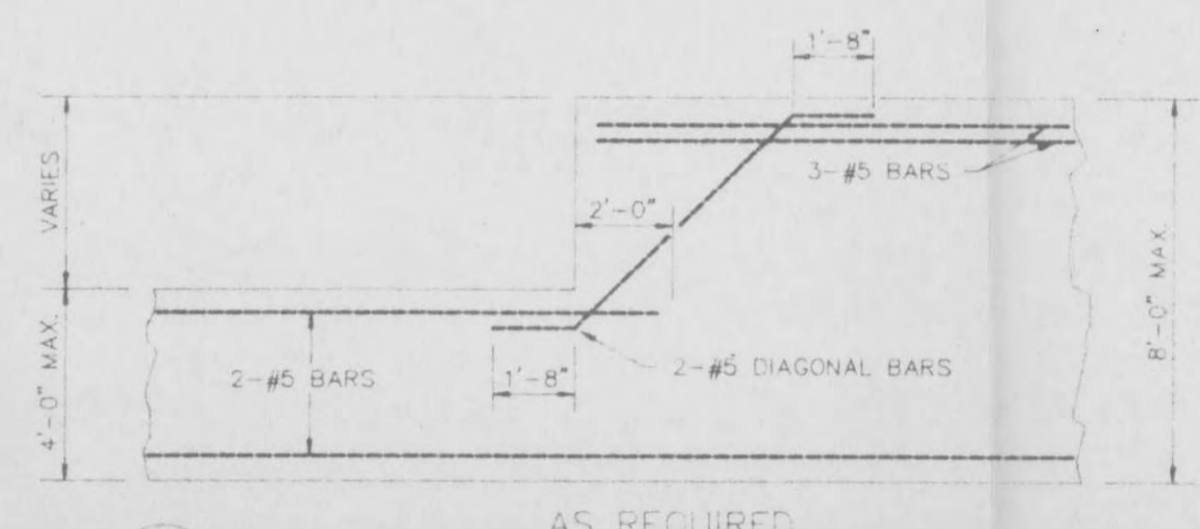
4 INTERIOR PAD



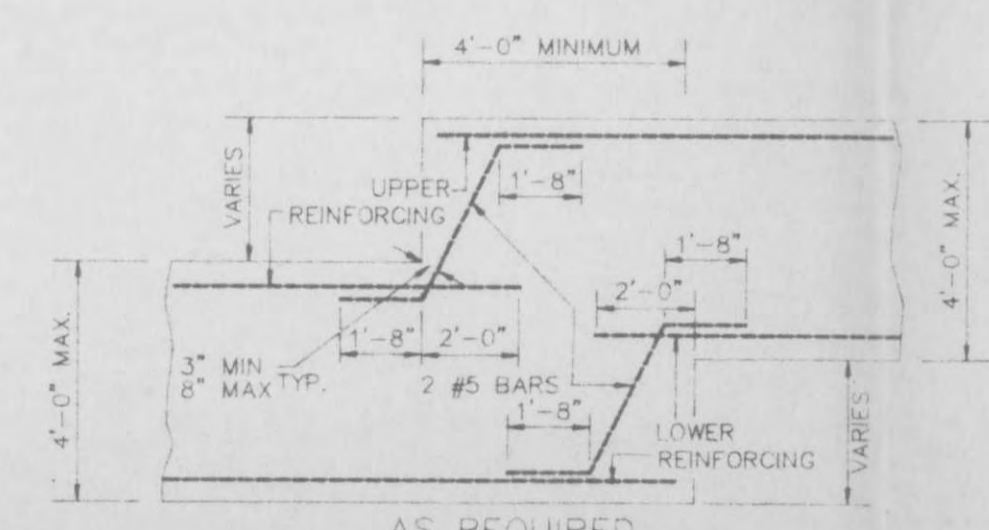
5 TYPICAL LOW WALL BELOW GARAGE DOOR



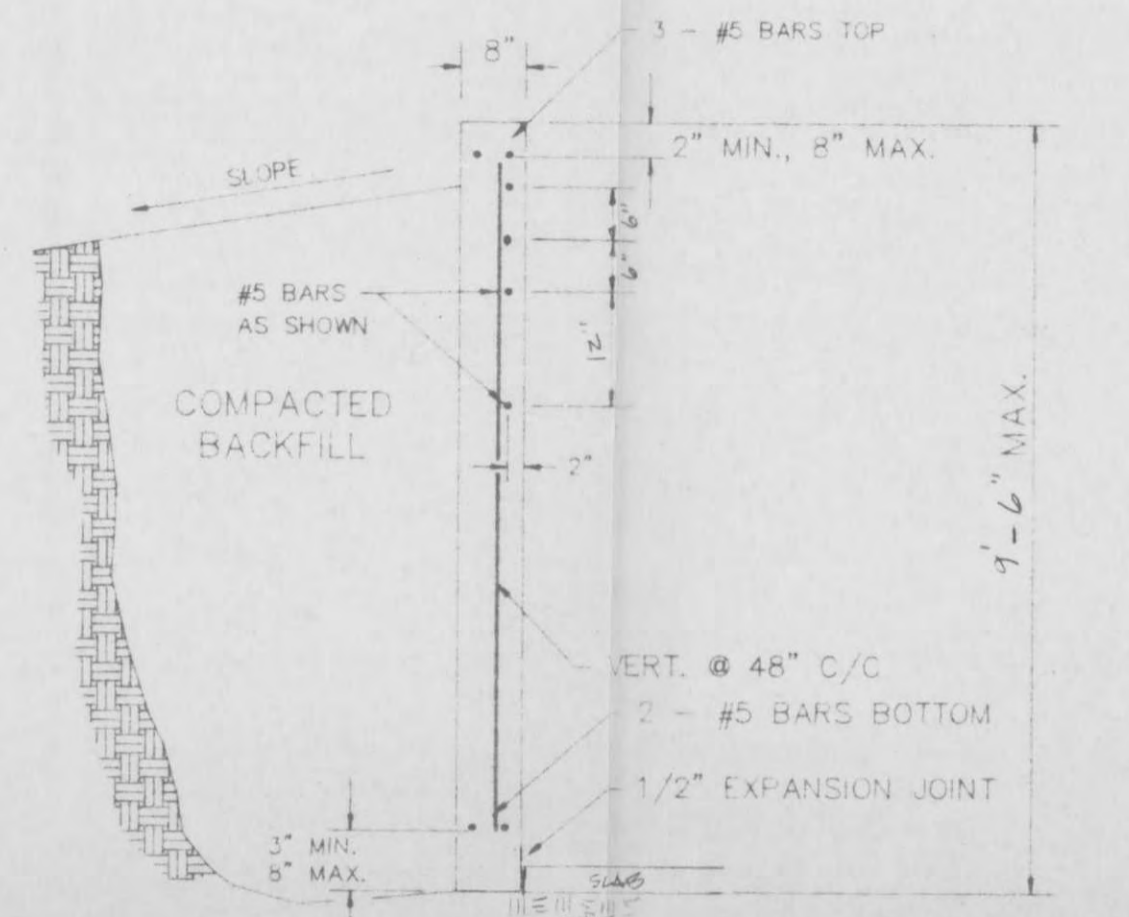
6 FOUNDATION STEP AT BOTTOM



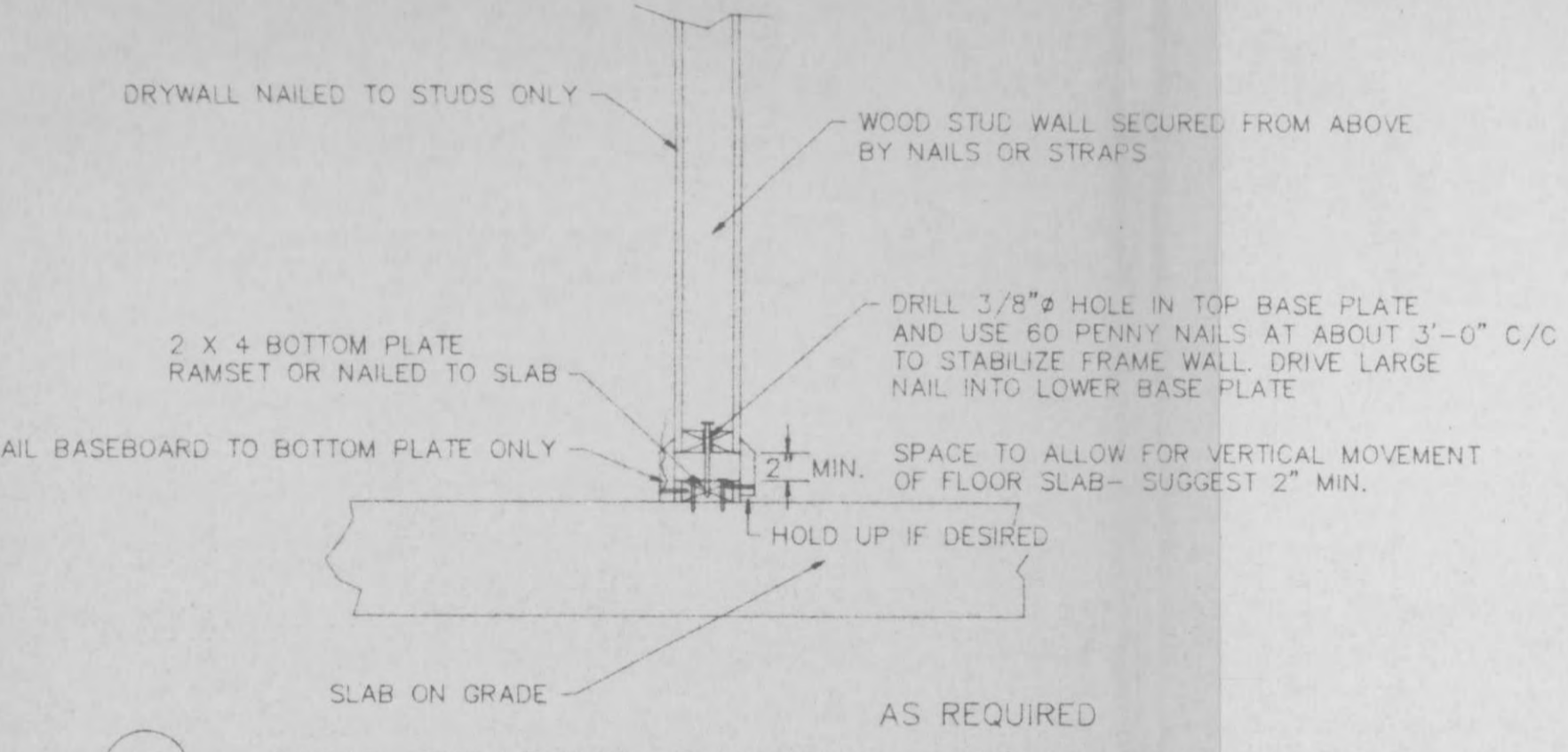
7 FOUNDATION STEP AT TOP



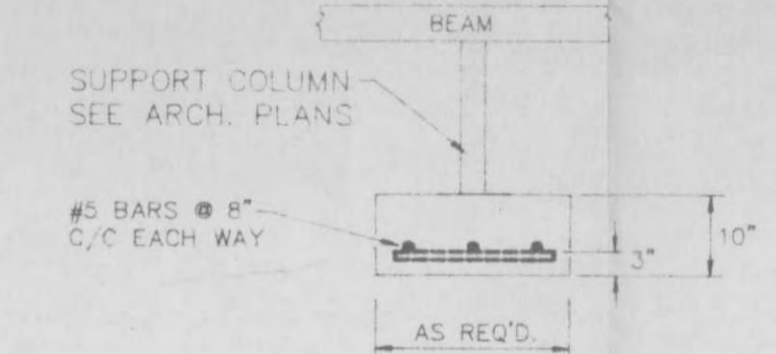
8 FOUNDATION STEP AT TOP AND BOTTOM AS REQUIRED



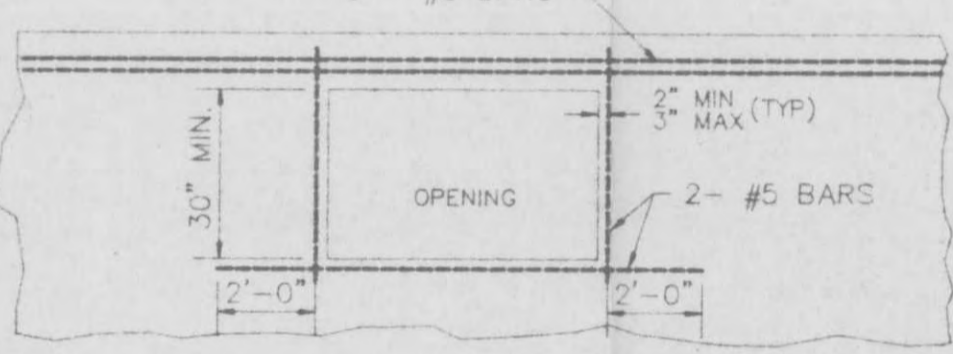
9 FULL BASEMENT WALL



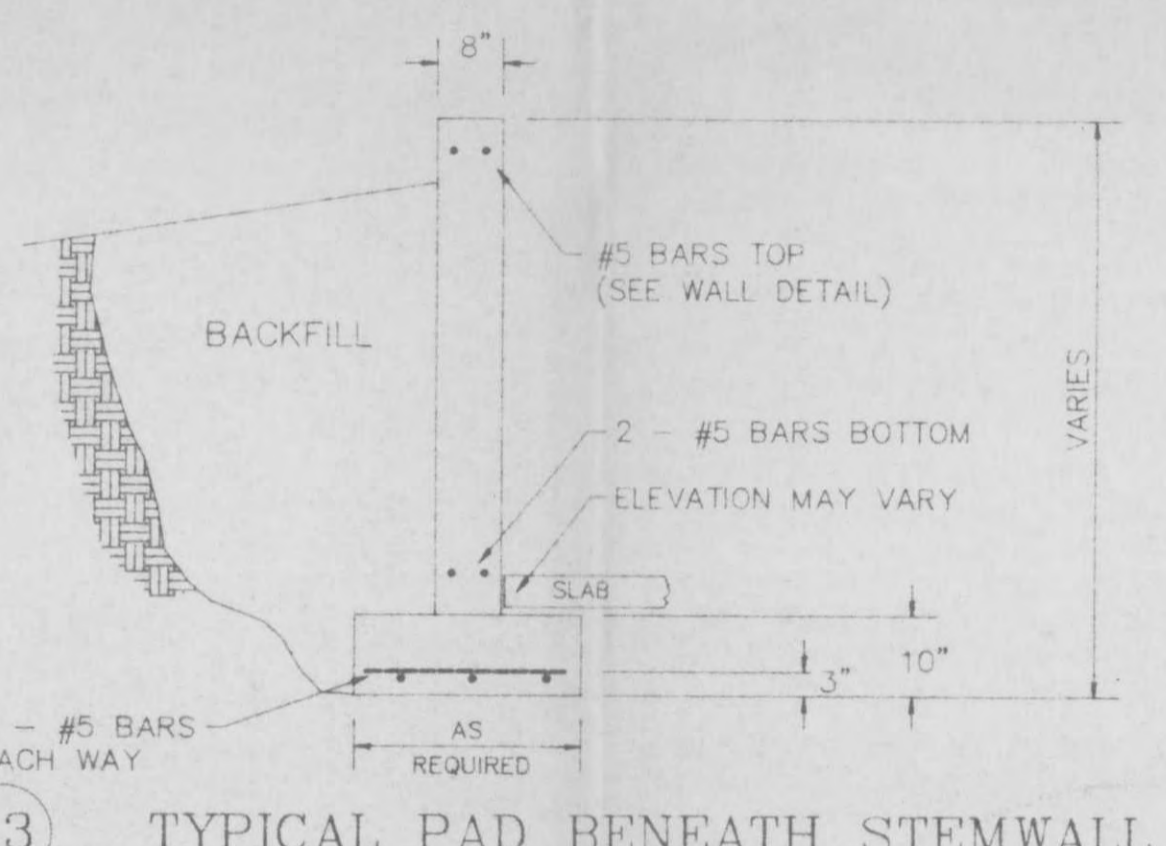
10 NON-BEARING PARTITION VOID DETAIL



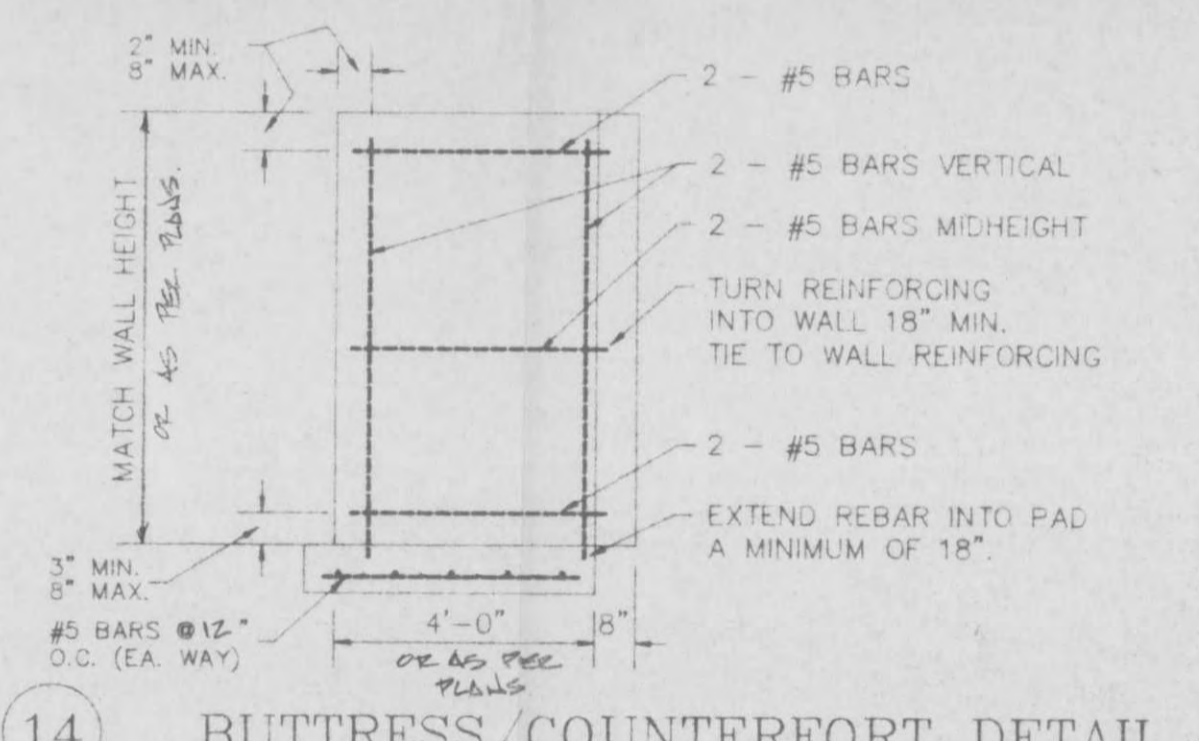
11 CRAWLSPACE PAD



12 CRAWLSPACE ACCESS OPENING



13 TYPICAL PAD BENEATH STEMWALL



14 BUTTRESS/COUNTERFORT DETAIL



3-7-94
FOUNDATION DETAILS
COUNTRY LANE RD.
Ft. H. H. NORDEN CORP
ENTECH JOB # 40974

ENTECH
ENGINEERING, INC.
SUITE 100
6685 KENDALE DRIVE
COLORADO SPRINGS
COLORADO
(719) 531-6599

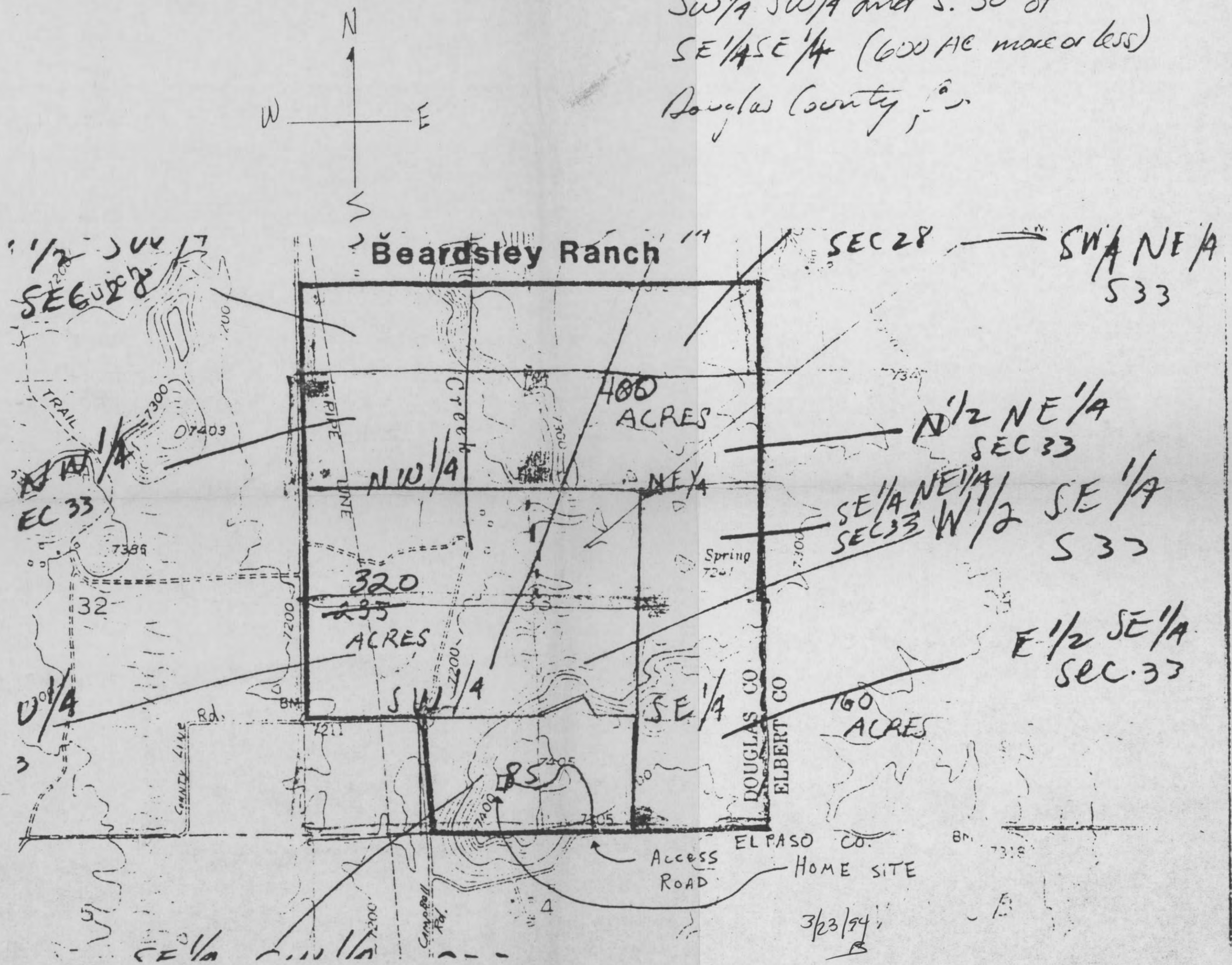
SHEET OF
2 2



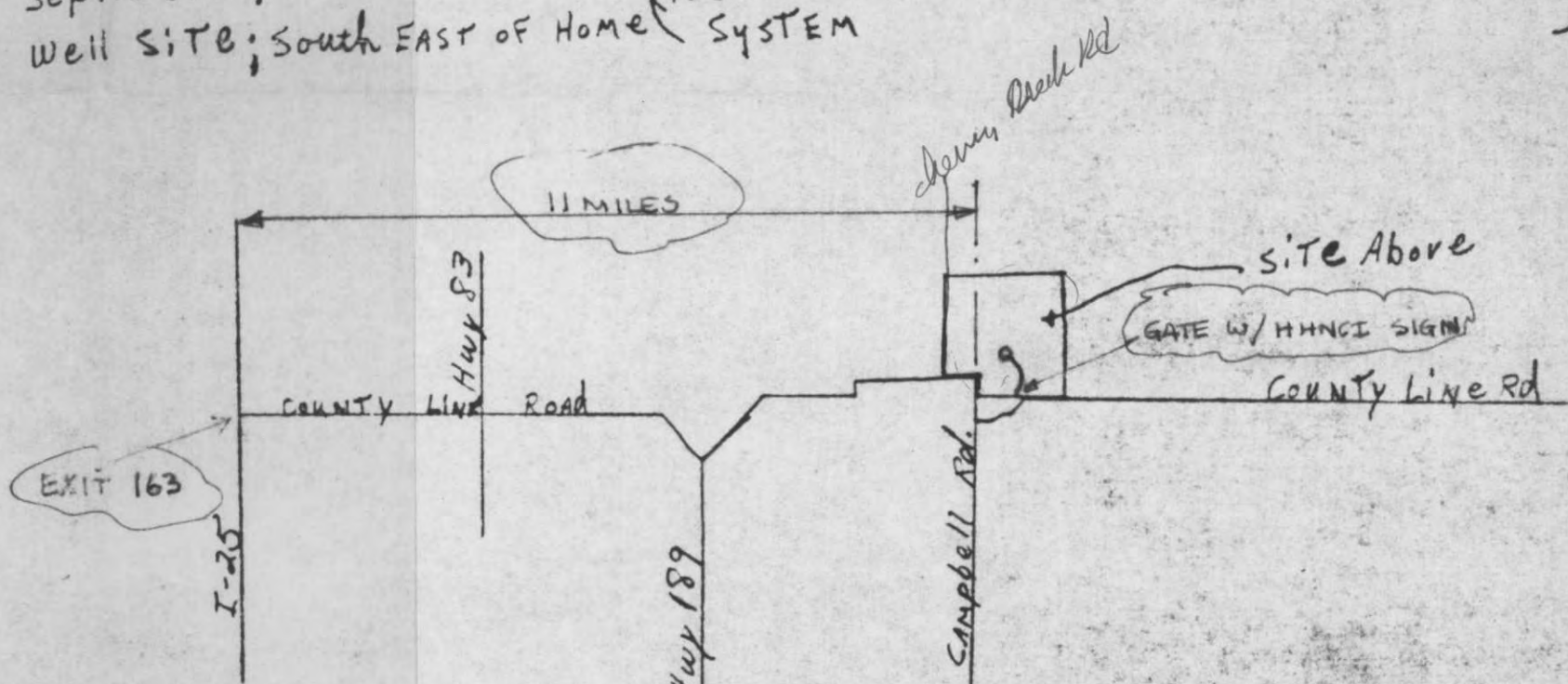
All in Tavn. 10 S. Range 65 W

1) $S\frac{1}{2}N\frac{1}{2}S\frac{1}{2}S\frac{1}{2}$ and
 $S\frac{1}{2}S\frac{1}{2}S\frac{1}{2}$ of Sec 28
 (120 AC more or less)
 Douglas County Co

2) All of Sec. 33 except
 $SW\frac{1}{4}SW\frac{1}{4}$ and S. 30' of
 $SE\frac{1}{4}SE\frac{1}{4}$ (600 AC more or less)
 Douglas County Co



Septic Site; North East of Home (Two Hundred Feet Between The Septic + Well)
 Well Site; South East of Home SYSTEM



Vicinity MAD

H. H. Norman Construction, Inc.
 1229 Lake Plaza Drive, Suite B
 Colorado Springs, CO 80906
 (719) 576-1670

SECTION 3 A1 AGRICULTURAL ONE DISTRICT

-Section Contents-

301 Intent 3-2

302 Principal Uses..... 3-2

303 Accessory Uses..... 3-3

304 Uses Permitted by Special Review..... 3-4

305 Uses Permitted by Administrative Review 3-6

306 Minimum Lot Area 3-6

307 Minimum Setbacks 3-7

308 Encroachments..... 3-7

309 Building Height 3-7

310 Water..... 3-8

311 Street Standards..... 3-8

312 Parking Standards 3-8

313 Fencing Standards 3-8

314 Sign Standards 3-9

315 Lighting Standards..... 3-9

316 Administrative Review – Prerequisite 3-9

317 Administrative Review - Approval Criteria 3-9

318 Administrative Review – Procedure..... 3-10

319 Administrative Review - General Submittal Requirements 3-11

320 Administrative Review – Narrative..... 3-11

321 Administrative Review - Plan Exhibit 3-12

322 Administrative Permit - Annual Inspection 3-12

323 Administrative Permit - Revocation..... 3-13

324 Event Center Standards 3-13

301 Intent (Amended 8/11/09)

To provide areas for a wide range of farming, ranching, or tree farming activities and the preservation of such land for its open rural character providing a physical and visual separation between urban centers.

Urban development within this district is strongly discouraged. Agricultural land use can be an efficient means of conserving natural resources, constituting an important physical, environmental, social, aesthetic, and economic asset to both the urban and rural residents of the County. Expansion of urban development into rural areas is a matter of public concern because of the potential of unnecessary increases in service costs, conflicts between agricultural and urban activities, and the loss of open space and the natural landscape. Development consideration may be given where it would serve to preserve agricultural land or open space, and promote a design that is sensitive to the natural land features in accordance with the intent of the Douglas County Comprehensive Master Plan, as amended.

The A-1 zone district is characterized by large-acreage farms, ranches, open areas, farm houses, units for agricultural workers and their families, and other uses allowed which enhance and promote the openness and general rural nature characteristic of the County. Development or use of land in this district is permitted only in accordance with the provisions herein. Land disturbance activities may require permit(s).

302 Principal Uses

On parcels of 35 acres or greater, the following uses shall be allowed by right: *(Parcels smaller than 35 acres are limited to the principal and accessory uses allowed in the residential zone district to which the parcel conforms in size.)* (Amended 5/14/03)

302.01 Agricultural recreational activities

302.02 Agriculture (Amended 1/28/14)

302.03 Animals - (refer to Section 24)

302.04 Community Uses:

- Church - maximum seating capacity of 350 in main worship area (*Site Improvement Plan required per Section 27*)
- Fire station - no on-site training (*Site Improvement Plan required per Section 27*)
- Library (*Site Improvement Plan required per Section 27*)
- Open Space/trails
- Park/playground
- Recreation facility – private (*Site Improvement Plan required per Section 27*) (Amended 9/9/08)

- School - public/private kindergarten thru 12th grade (*Site Improvement Plan required per Section 27 for private school; location and extent required for public school per Section 32*)
 - Sheriff substation - no training or detention (*Site Improvement Plan required per Section 27*)
 - Temporary Emergency Shelter (*Approval letter required from the Director; the use must comply with applicable regulations*) (*Amended 10/14/02*)
- 302.05 Construction office – temporary
- 302.06 Event Center on a parcel of 80 acres or greater (*Site Improvement Plan required per Section 27, unless conducted as an accessory use to an agricultural use on a parcel 160 acres or greater*) (*refer to Section 324*) (*Amended 4/28/15*)
- 302.07 Greenhouse - a maximum of 1 acre (*43,560 sq. ft.*) total area including warehouse and shipping facilities
- 302.08 Hay sales (*Site Improvement Plan required per Section 27*) (*Amended 4/28/15*)
- 302.09 Residence (*Amended 4/28/15*)
- Caretaker - 1 per lot
 - Mobile home, when a principal single-family dwelling exists on the lot
 - Principal - 1 single-family dwelling or 1 group home per lot (*excluding mobile home*) (*group homes must be separated by a distance of 750'*) (*Amended 9/9/08*)
 - Temporary (*refer to Section 22*)
- 302.10 Residential sales office - temporary (*refer to Section 22*)
- 302.11 Training of non-owned horses, or riders not related to the landowner or lessee, limited to 14 lessons per week
- 302.12 Utility service facility (*Site Improvement Plan required per Section 27*)

303 Accessory Uses

The following uses shall be allowed only when a principal use has been established on the lot.

- 303.01 Accessory uses and buildings
- 303.02 Day-care home – small

- 303.03 Entertainment Event – *(refer to Section 22B) (Amended 1/28/14)*
- 303.04 Event Center on a parcel of 160 acres or greater with a principal agricultural use *(Amended 4/28/15)*
- 303.05 Farmers Market – *(refer to Section 22A) (Amended 1/28/14)*
- 303.06 Garage - private, limited to a maximum size of 3,000 sq. ft.
- 303.07 Guest house
- 303.08 Home Occupation - Class 1 and Class 2 *(refer to Section 23)*
- 303.09 In-home elder care *(Amended 3/28/01)*
- 303.10 Sale of Agricultural Products and Value-added Agricultural Products produced or raised on site *(Amended 1/28/14)*
- 303.11 Satellite receiving dish accessory to a residence
- 303.12 Value-added Agricultural Processing – limited to a maximum of 1,500 square feet devoted to this use *(Amended 1/28/14)*

304 Uses Permitted By Special Review *(Amended 1/28/14)*

On parcels of 35 acres or greater, the following uses are permitted, upon the approval of the Board, in accordance with Sections 21-Use By Special Review and 27-Site Improvement Plan of this Resolution. *(Parcels smaller than 35 acres are limited to the uses by special review allowed in the residential zone district to which the parcel conforms to in area.)*

- 304.01 Animals - non domestic, exotic
- 304.02 Campground
- 304.03 Cemetery
- 304.04 Church - greater than 350 seating capacity
- 304.05 Cultural facility
- 304.06 Day-care center/preschool, or day-care home – large
- 304.07 Dude Ranch
- 304.08 Event Center on a parcel of less than 80 acres *(Amended 4/28/15)*

Section 3	A-1 Agricultural One District	3/10/99
304.09	Feedlot/confinement center	
304.10	Firing range	
304.11	Golf course legally established as a Use by Special Review prior to June 22, 2005 <i>(Amended 2/12/19)</i>	
304.12	Greenhouse - greater than 1-acre total area including warehouse and shipping facilities	
304.13	Hunting/fishing club	
304.14	Home occupation that exceeds 2 nonresident employees or requires more than 1500 sq. ft. of an accessory structure	
304.15	Horse boarding or training facility that exceeds the maximum number of horses permitted by right or by administrative review in Section 24. <i>Exempt from Section 18A: Water Supply-Overlay District (Amended 10/14/02)</i>	
304.16	Horse rental stable	
304.17	Kennel	
304.18	Landfill - public/private	
304.19	Landing field – private	
304.20	Mining, quarry, sand/gravel operation, or similar extractive land use	
304.21	Motorsports Facility, Private <i>(Amended 4/26/16)</i>	
304.22	Oil or gas drilling operation	
304.23	Recreation facility – community	
304.24	Religious retreat	
304.25	Residence <i>(Amended 4/28/15)</i>	
	<ul style="list-style-type: none">• Bed and Breakfast• Group home for registered sex offenders <i>(Amended 9/12/00)</i>• Group Residential Facility• Mobile Home – 1 per lot when a principal single-family residential dwelling does not exist.	
304.26	Satellite earth station <i>(Amended 4/24/02)</i>	

- 304.27 Septic waste and domestic sludge application
- 304.28 Telecommunication facility
- 304.29 Utility - major facility
- 304.30 Veterinary clinic/hospital
- 304.31 Wind energy conversion system

305 Uses Permitted by Administrative Review (Amended 4/24/02)

Agricultural worker housing (excluding mobile homes) in addition to the housing permitted by-right, may be reviewed and approved administratively provided the applicant meets the threshold criteria contained in this subsection, and can further demonstrate the need in the narrative as required by this Section. The thresholds listed are based on general industry standards.

- 305.01 Agricultural Worker Unit (one dwelling with one to four bedrooms, or one to four attached efficiency units/apartments in one footprint) as follows:
 - 305.01.1 Horse Ranch or Boarding/Training Facility provided the required narrative demonstrates a need based on the general criteria of one worker per 25 horses.
 - 305.01.2 Cattle ranch provided the required narrative demonstrates a need based on the general criteria of one worker per 300 head of cattle.
 - 305.01.3 Farm provided the required narrative demonstrates a need based on the general criteria of one worker per 1200 acres of farmed land.
 - 305.01.4 Combination farm/ranch activities provided the required narrative demonstrates a need based on the general criteria cited for each activity.
- 305.02 Applications for agricultural worker housing shall be reviewed in accordance with the thresholds contained in subsection 305, and the criteria and process set forth in subsections 316 through 323.
- 305.03 The Director shall determine threshold criteria for uses, or combinations of uses, not specifically listed.

306 Minimum Lot Area: 35 acres *

Lots less than 35 acres in area shall be limited to the uses allowed in the agricultural or residential zone district to which the lot conforms in area.

*The minimum lot area may be decreased with a clustered design through the exemption process. (Amended 4/28/15)

307 Minimum Setbacks

Parcel Size	SETBACK FROM:			
	Street	Side Lot Line	Rear Lot Line	115+KV Power Line
LESS than 2.3	regional/maj. arterial: 100' other: 25'	15'	25'* accessory: 15'	100'
2.3-4.49 ac.	regional/maj. arterial: 100' other: 25'	25'	25'	100'
4.5-8.9 ac.	regional/maj. arterial: 100' other: 50'	25'	25'	100'
9-34.9 ac.	100'	50'	50' accessory: 25'	100'
35+ ac.	100'	100' accessory: 50'	100' accessory: 50'	100'

*Schools and buildings within recreation areas shall be set back 50'

The setback is measured from the lot line to the wall of the structure horizontally and perpendicular to the lot line. (See illustration in the Definition section.) The setback from the POWER LINE is measured from the closest edge of the easement to the structure.

308 Encroachments

- 308.01 A cornice, canopy, eave, fireplace, wing wall or similar architectural feature may extend 3 feet into a required setback.
- 308.02 An open, unenclosed, uncovered deck/porch at ground level may extend 6 feet into a required setback, except for a side setback.
- 308.03 An open unenclosed, uncovered deck/porch greater than 4 feet in height, above ground level, may extend 3 feet into a required setback, except for a side setback.
- 308.04 A building permit shall not be issued for any structure which is to be located within an easement unless written approval by the easement holder(s) is provided.
- 308.05 Utility distribution lines and related equipment commonly located along property lines may be located within a required setback. A neighborhood substation or gas regulator/meter station shall meet the required setbacks.

309 Building Height

Maximum building height: 35 feet

The maximum building height shall not apply to belfries, cupolas, penthouses or domes not used for human occupancy, roof-mounted church spires, chimneys, skylights, ventilators, water tanks, silos, parapet walls, cornices, antennas, utility poles and necessary mechanical appurtenances usually carried above the roof level.

309.01 The maximum height of a roof-mounted church spire/steeple shall not exceed 1.62 times the height of the church measured from the lowest finished floor to the roof peak. The height of the roof-mounted spire shall be measured from the top of the spire to the finished floor of the lowest walkout level of the church. *(refer to Section 36 building height definition - spire height calculation)*

309.02 The height of an antenna shall be no greater than the distance to the nearest lot line. *(refer to Section 27A for cell sites and Section 21 for telecommunication facilities)*

310 Water - Refer to Section 18A of this Resolution *(Amended 3/13/02)*

311 Street Standards

Public streets shall be constructed in accordance with the Douglas County Roadway Design and Construction Standards. Private streets shall be constructed either in accordance with Appendix 58 of the International Building Code, as amended and adopted by Douglas County, or the Douglas County Roadway Design and Construction Standards.

Both public and private streets shall be constructed in accordance with the provisions of the Douglas County Storm Drainage Design and Technical Criteria manual and the County's clearing, grading, and land disturbance regulations. *(Amended 6/14/06)*

312 Parking Standards - Refer to Section 28 for non-residential parking standards *(Amended 4/24/02)*

The minimum off-street parking spaces required: 8 spaces per lot in accordance with the Douglas County Roadway Design and Construction Standards.

313 Fencing Standards

313.01 Fences, walls, or hedges shall not be erected in the public right-of-way, but shall be allowed within the setback, on private land.

313.02 Fences, walls, or hedges shall be erected and maintained in a manner which does not obstruct the vision of automobile traffic on the adjacent

streets, rights-of-way, or driveways in accordance with the Douglas County Roadway Design and Construction Standards manual.

- 313.03 A building permit is required for any retaining wall greater than 4 feet in height or any fence or wall greater than 6 feet in height, or as required by the Building Code, as amended and adopted by Douglas County. *(Amended 12/18/12)*
- 313.04 Fences, walls or hedges shall be maintained in good structural or living condition. The landowner is responsible for the repair or removal of a fence, wall or hedge, which constitutes a safety hazard, by reason of inadequate maintenance, dilapidation, obsolescence or abandonment, or which constitutes a zoning violation.
- 313.05 Barbed wire or electrically charged fences shall be allowed. Any electrically charged fence shall be clearly and conspicuously posted to warn those outside the fence that it is electrically charged. Concertina or razor wire is prohibited.
- 313.06 Swimming pools shall be enclosed by a fence or wall that meets or Exceeds the requirements of the Building Code, as amended and adopted by Douglas County. *(Amended 12/18/12)*

314 Sign Standards - Refer to Section 29 of this Resolution

315 Lighting Standards - Refer to Section 30 of this Resolution

316 Administrative Review - Prerequisite *(Amended 4/24/02)*

A landowner/lessee seeking to construct agricultural worker housing shall schedule a pre-submittal meeting with the staff to discuss the application, submittal procedures, and information required.

317 Administrative Review - Approval Criteria *(Amended 4/24/02)*

Administrative review of the application shall be based on the following criteria:

- 317.01 Whether the proposed use is in harmony and compatible with the character of the surrounding area;
- 317.02 Whether the proposed use will not result in an over-intensive use of the land;
- 317.03 Whether the proposed use will not require a level of community facilities and services greater than that which is available;

- 317.04 Whether the proposed use will not cause undue traffic congestion or traffic hazards;
- 317.05 Whether the proposed use will not cause significant air, water or noise pollution:
- 317.06 Whether the proposed use is adequately landscaped, buffered, or screened;
- 317.07 Whether the proposed use will not be otherwise detrimental to the health, safety or welfare of the neighboring landowners.

318 Administrative Review – Procedure (Amended 4/24/02)

- 318.01 Following the pre-submittal meeting, the applicant shall submit to the Planning Division a copy of the documents required per subsection 321. The submittal shall be reviewed for completeness and the applicant notified of any inadequacies.
- 318.02 Once determined complete, staff will notify the applicant of the number of copies of the plan and narrative required to be submitted for distribution to referral agencies. Referral packets shall be provided by the applicant in unsealed manila envelopes, addressed to the appropriate referral agency. Staff shall mail the referral packets. Referral agencies shall comment within 21 days.
- 318.03 Written Notice
- 318.03.1 At least 10 days prior to the Director's decision, the applicant shall mail a written notice of the request by first-class mail to the address of each abutting landowner as such addresses are shown in the records of the Douglas County Assessor's Office and shall submit a certificate of mailing to Douglas County Planning 7 days prior to the date of the Director's decision. The notice shall indicate:
- the proposed date of the Director's decision;
 - the nature of the request;
 - the location of the land that is the subject of the request (*distance and direction from nearest major intersection*);
 - the file name and number; and
 - a statement that comments and questions should be directed to Douglas County Planning, 100 Third Street, Castle Rock, CO 80104 (303) 660-7460.
- 318.03.2 The person completing the mailing of the written notice shall execute a certificate of mailing. Such certificate shall read as follows:

CERTIFICATE OF MAILING

I hereby certify that a true and correct copy of the attached written notice was placed in the U.S. mail, first-class, postage prepaid, this ___ day of _____, 20___, and addressed as follows:

(list of addresses)

(Signature of person completing the mailing)

- 318.03.3 In the event the applicant fails to mail a notice to an abutting landowner or otherwise fails to comply with the written notice required in this section, the landowners who did not receive such complying notice may waive such notice by submitting a written waiver to Douglas County Planning Division.
- 318.04 The staff planner will review the referral comments, discuss the concerns with the applicant, and prepare a staff report and present it to the Director for a decision.
- 318.05 An appeal of the Director's decision regarding an administrative review request may be submitted to the Board of Adjustment pursuant to Section 26A of this Resolution. *(Amended 4/10/12)*
- 319 Administrative Review - General Submittal Requirements *(Amended 4/24/02)*
- 319.01 A completed application form, including a copy of the completed pre-submittal form *(available from the Planning Office)*
- 319.02 Application fee *(fee schedule available from the Planning Office)*
- 319.03 Proof of ownership by copy of deed or title insurance commitment no more than 30 days old; or in the case of a lessee, a copy of the lease
- 319.04 A Narrative *(per Section 320 contained herein)*
- 319.05 A Plan Exhibit *(per Section 321 contained herein)*
- 319.06 A notarized letter or authorization from the landowner permitting a lessee or representative to process the application, when applicable
- 320 Administrative Review - Narrative *(Amended 4/24/02)*
- 320.01 The type and description of the residential unit proposed
- 320.02 The maximum number of individuals to be accommodated

- 320.03 A detailed description of the agricultural activities of the subject site focusing on the intensity of the operations, and on those work elements necessitating on-site agricultural labor including the following:
 - 320.03.1 Number and type of livestock raised
 - 320.03.2 Grazing plan and pasture rotation
 - 320.03.3 Crop types and number of acres farmed
 - 320.03.4 Other income-producing activities occurring on the site
- 320.04 A description of the sanitary service to be provided and evidence that the system is in accordance with Tri-County Health regulations
- 320.05 A description of the water service to be provided and evidence of the ability of the water to be used in the manner proposed
- 320.06 A description of the increase or reduction in traffic anticipated in trips per day as a result of the housing units
- 320.07 A description of community services or facilities (libraries, medical facilities, schools, etc.) that may be required or accessed by the occupants of the unit

321 Administrative Review - Plan Exhibit (Amended 4/24/02)

A site plan shall be submitted, drawn to scale that includes the following:

- 321.01 a vicinity map showing the site and the relationship to adjacent properties and major roads;
- 321.02 the total acreage owned or leased by the applicant;
- 321.03 the zoning and use of the contiguous parcels owned, and the zoning and use of adjacent land;
- 321.04 the location of the proposed agricultural worker unit with dimensions to the nearest property lines, and dimensions of the proposed unit;
- 321.05 a sketch of the floor plan for all units proposed, along with a notation restricting the residential use of the units to agricultural workers as defined and approved;
- 321.06 the location and dimensions of all property lines, existing and proposed structures, existing and proposed wells, septic systems, and leach fields noting separation distances as necessary;

- 321.07 access to proposed units - delineate public and private roads, dimensions, and note surface material, and;
- 321.08 all drainage ways affecting the site and designation of any 100-year floodplain on or adjacent to the site.

322 Administrative Permit - Annual Inspection (Amended 4/24/02)

Agricultural housing approved by administrative review shall meet all applicable regulations associated with residential development and shall be subject to an annual compliance inspection. A copy of the landowner/lessee's federal 943 Tax Form indicating that the occupants of the unit are indeed agricultural workers, may be required as part of the annual review and inspection.

323 Administrative Permit - Revocation (Amended 4/24/02)

The administrative permit may be revoked by the Director, after written notice, for failure to operate the use in accordance with the approved plan or narrative or other zoning regulation. A revocation may be appealed to the Board of Adjustment pursuant to Section 26A of this Resolution. (Amended 4/10/12)

324 Event Center Standards (Amended 4/28/15)

- 324.01 Where event centers are permitted with approval of a Use by Special review, the standards within Section 21 shall apply.
- 324.02 Where event centers are permitted with approval of a Site Improvement Plan, the following standards shall apply:
- 324.02.1 Structures, outdoor assembly areas, and parking lots shall be setback a minimum of 200 feet from all adjacent property lines.
- 324.02.2 Noise generated by the event center use shall not result in noise levels which exceed 40 dB(A) between 7:00 a.m. and 7:00 p.m., and 35 dB(A) between 7:00 p.m. and 7:00 a.m., measured in accordance with Section 1705A of the Noise Overlay District.
- 324.02.3 Maximum capacity shall not exceed 350 persons per event. Event centers that exceed this capacity shall be processed in accordance with Section 304.08.
- 324.03 Where event centers are permitted as accessory uses, the following standards shall apply:
- 324.03.1 The landowner shall obtain a written Event Center certification prior to commencement of the use.

- The certification request shall be submitted by the landowner in the form of a written request and accompanying exhibit.
 - The exhibit shall depict the property, points of access, and the location of the proposed event center to structures and use areas. Structures, outdoor assembly areas, and parking lots shall be setback a minimum of 500 feet from any existing, separately-owned residence on adjacent parcels.
 - The written request shall confirm that a principal agricultural use exists on the property and that legal and physical access is provided.
 - The Director shall provide a written Event Center certification upon review of the request which confirms that the property meets the minimum size required, that there is a principal agricultural use, and that access is provided. The certification shall include a statement that the event center use is vested, for purposes of setbacks, regardless of subsequent development on adjacent parcels.
- 324.03.2 Noise generated by the event center use shall comply with the limits established in Section 1703A of the Noise Overlay District.
- 324.03.3 If a land division reduces the parcel size to below 160 acres, approval of an application under the provisions of Section 302.06 or 304.08, as applicable, shall be required for continued event center use.